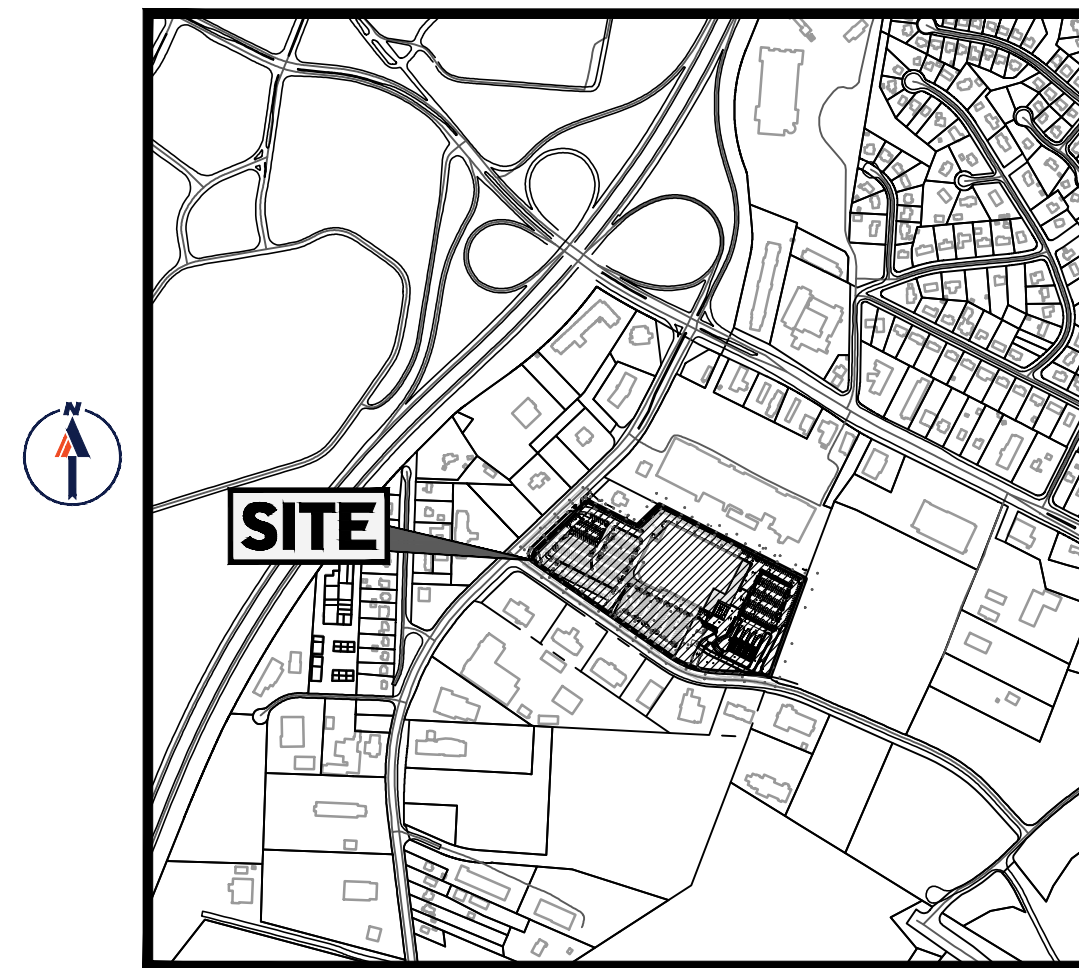


# PRELIMINARY ENGINEERING PLANS



LOCATION OF SITE  
 251 FRONT ROYAL PIKE SHAWNEE MAGISTERIAL DISTRICT  
 FREDERICK COUNTY, WINCHESTER, VIRGINIA 22602  
 TAX MAP #: 64-8-1



LOCATION MAP  
 SCALE: 1"=1000'  
 SOURCE: FREDERICK COUNTY GIS

PREPARED BY



CONTACT:  
 12825 WORLDGATE DR. SUITE 700  
 HERNDON, VIRGINIA 20170  
 Phone: (703) 709-9500  
 Fax: (703) 709-9501  
 VA@BohlerEng.com  
 GREG ELLWOOD, PE

**OWNER / APPLICANT**  
 COSTCO WHOLESALE CORPORATION 30  
 INDEPENDENCE BLVD  
 WARREN, NJ 07059

**CIVIL ENGINEER**  
 BOHLER ENGINEERING  
 12825 WORLDGATE DR. SUITE 700  
 HERNDON, VIRGINIA 20170  
 (703) 709-9500  
 CONTACT: GREG ELLWOOD, PE

**ENVIRONMENTAL CONSULTANT**  
 TERRACON CONSULTANTS  
 19955 HIGHLAND VISTA DR STE 170  
 ASHBURN, VIRGINIA 20147  
 PHONE: (703) 726-8030



**REVISIONS**

REV	DATE	COMMENT	DRAWN BY
1	05/22/23	REV PER CLIENT COMMENT	MR AW
2	06/19/23	REV PER CLIENT COMMENT	MR AW



Know what's below.  
 Call before you dig.  
 ALWAYS CALL 811  
 It's fast. It's free. It's the law.

NOT APPROVED FOR CONSTRUCTION

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: NJA220135.00  
 DRAWN BY: MR  
 CHECKED BY: AW  
 DATE: 03/27/23  
 CAD ID: CND5-2

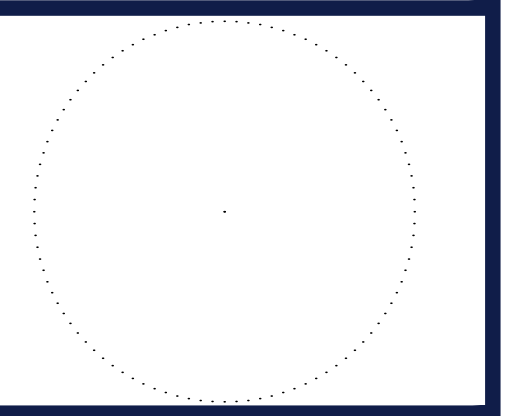
PROJECT: **PROP. PRELIMINARY ENGINEERING PLANS FOR**



251 FRONT ROYAL PIKE  
 WINCHESTER, VA 22602  
 FREDERICK COUNTY  
 SHAWNEE MAGISTERIAL DISTRICT  
 TM: 64 08 0001



12825 WORLDGATE DR. SUITE 700  
 HERNDON, VIRGINIA 20170  
 Phone: (703) 709-9500  
 Fax: (703) 709-9501  
 VA@BohlerEng.com



SHEET TITLE:

**COVER SHEET**

SHEET NUMBER:

1

REVISION 2 - 06/19/23

STANDARD DRAWING LEGEND FOR ENTIRE PLAN SET		
LIMIT OF WORK	---	---
LIMIT OF DISTURBANCE	---	---
EXISTING NOTE	TYPICAL NOTE TEXT	PROPOSED NOTE
---	ONSITE PROPERTY LINE / R.O.W. LINE	---
---	NEIGHBORING PROPERTY LINE / INTERIOR PARCEL LINE	---
---	EASEMENT LINE	---
---	SETBACK LINE	---
---	CONCRETE CURB & GUTTER	---
---	UTILITY POLE WITH LIGHT	---
---	POLE LIGHT	---
---	TRAFFIC LIGHT	---
---	UTILITY POLE	---
---	TYPICAL LIGHT	---
---	ACORN LIGHT	---
---	TYPICAL SIGN	---
---	PARKING COUNTS	---
---	CONTOUR LINE	---
---	SPOT ELEVATIONS	---
---	SANITARY LABEL	---
---	STORM LABEL	---
---	SANITARY SEWER LATERAL	---
---	UNDERGROUND WATER LINE	---
---	UNDERGROUND ELECTRIC LINE	---
---	UNDERGROUND GAS LINE	---
---	OVERHEAD WIRE	---
---	UNDERGROUND TELEPHONE LINE	---
---	UNDERGROUND CABLE LINE	---
---	STORM SEWER	---
---	SANITARY SEWER MAIN	---
---	HYDRANT	---
---	SANITARY MANHOLE	---
---	STORM MANHOLE	---
---	WATER METER	---
---	WATER VALVE	---
---	GAS VALVE	---
---	GAS METER	---
---	TYPICAL END SECTION	---
---	HEADWALL OR ENDWALL	---
---	GRATE INLET	---
---	CURB INLET	---
---	CLEAN OUT	---
---	ELECTRIC MANHOLE	---
---	TELEPHONE MANHOLE	---
---	ELECTRIC BOX	---
---	ELECTRIC PEDESTAL	---
---	MONITORING WELL	---
---	TEST PIT	---
---	BENCHMARK	---
---	BORING	---

STANDARD ABBREVIATIONS FOR ENTIRE PLAN SET	
AC	ACRES
ADA	AMERICANS WITH DISABILITY ACT
ARCH	ARCHITECTURAL
BC	BOTTOM OF CURB
BF	BASEMENT FLOOR
BK	BLOCK
BL	BASELINE
BLDG	BUILDING
BM	BUILDING BENCHMARK
BRL	BUILDING RESTRICTION LINE
CF	CUBIC FEET
CL	CENTERLINE
CMP	CORRUGATED METAL PIPE
CONN	CONNECTION
CONC	CONCRETE
CPP	CORRUGATED PLASTIC PIPE
CY	CUBIC YARDS
DEC	DECORATIVE
DEP	DEPRESSED
DIP	DUCTILE IRON PIPE
DOM	DOMESTIC
ELEC	ELECTRIC
ELEV	ELEVATION
EP	EDGE OF PAVEMENT
ES	EDGE OF SHOULDER
EW	END WALL
EX	EXISTING
FES	FLARED END SECTION
FF	FINISHED FLOOR
FH	FIRE HYDRANT
FG	FINISHED GRADE
G	GRADE
GF	GARAGE FLOOR (AT DOOR)
GH	GRADE HIGHER SIDE OF WALL
GL	GRADE LOWER SIDE OF WALL
GRT	GRATE
GV	GATE VALVE
HDPE	HIGH DENSITY POLYETHYLENE PIPE
HP	HIGH POINT
HOR	HORIZONTAL
HW	HEADWALL
INT	INTERSECTION
INV	INVERT
LF	LINEAR FOOT
LOC	LIMITS OF CLEARING
LOD	LIMITS OF DISTURBANCE
LOS	LINE OF SIGHT
LP	LOW POINT
L/S	LANDSCAPE
MAX	MAXIMUM
MIN	MINIMUM
MH	MANHOLE
MJ	MECHANICAL JOINT
OC	ON CENTER
PA	POINT OF ANALYSIS
PC	POINT OF CURVATURE
PCCR	POINT OF COMPOUND CURVATURE, CURB RETURN
PI	POINT OF INTERSECTION
POG	POINT OF GRADE
PROP	PROPOSED
PT	POINT OF TANGENCY
PTCR	POINT OF TANGENCY, CURB RETURN
PVC	POLYVINYL CHLORIDE PIPE
PVI	POINT OF VERTICAL INTERSECTION
PVT	POINT OF VERTICAL TANGENCY
R	RADIUS
RCP	REINFORCED CONCRETE PIPE
RET WALL	RETAINING WALL
RW	RIGHT OF WAY
S	SLOPE
SAN	SANITARY SEWER
SF	SQUARE FEET
STA	STATION
STM	STORM
SW	SIDEWALK
TBA	TO BE ABANDONED
TBR	TO BE REMOVED
TBRV	TO BE RELOCATED
TBV	TO BE VACATED
TC	TOP OF CURB
TELE	TELEPHONE
TPF	TREE PROTECTION FENCE
TW	TOP OF WALL
TYP	TYPICAL
UG	UNDERGROUND
UP	UTILITY POLE
W	WIDE
WL	WATER LINE
WM	WATER METER
±	PLUS OR MINUS
°	DEGREE
Ø	DIAMETER
#	NUMBER

PROPOSED EASEMENT LEGEND	
---	COMMON SHARED
---	INGRESS-EGRESS
---	PUBLIC ACCESS
---	PUBLIC UTILITY
---	SANITARY SEWER
---	SIGHT DISTANCE
---	STORM DRAIN
---	VARIABLE WIDTHS
---	WATER

JUN 30, 2023 10:08 AM I:\BOHLER\NET\SHAWNEE\PROJECTS\2023\AZ20135.00\CADD\DRAWINGS\PLAN SET\GREEN\INK PL\AN\JUN30 10:08 AM\AZ20135.00.CADD.2 - JAVOUT: 1 - COVER

**NOTES:**

- THE SUBJECT PROPERTIES ARE LOT 1 AND LOT 2 AS RECORDED IN DEED BOOK 838, PAGE 1360 AND BEING THE LANDS OF THE PRICE COMPANY AS RECORDED IN DEED BOOK 829, PAGE 487, AND BEING THE LANDS OF COSTCO WHOLESALER CORPORATION AS RECORDED IN INSTRUMENT NO. 190006190 AMONG THE LANDS RECORDS OF FREDERICK COUNTY, VIRGINIA AND HAVING A TAX MAP NO. OF 64-8-1 AND 64-8-2 PER THE DEPARTMENT OF ASSESSMENTS.
- LOT 1 AREA = 13.002 ACRES (RECORD AND MEASURED) OR 566,356 SQUARE FEET (MEASURED) LOT 2 AREA = 4.293 ACRES (RECORD AND MEASURED) OR 187,007 SQUARE FEET (MEASURED).
- LOCATION OF ALL UNDERGROUND UTILITIES ARE APPROXIMATE. SOURCE INFORMATION FROM PLANS AND MARKINGS HAS BEEN COMBINED WITH OBSERVED EVIDENCE OF UTILITIES TO DEVELOP A VIEW OF THOSE UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION MAY BE NECESSARY.
- THIS SURVEY WAS PERFORMED IN THE FIELD ON FEBRUARY 8, 2023, UTILIZING THE REFERENCE DOCUMENTS AS LISTED HEREON AND DEPICTS BUILDINGS, STRUCTURES AND OTHER IMPROVEMENTS.
- ELEVATIONS ARE BASED ON NAVD83 DATUM DETERMINED BY GPS OBSERVATIONS.
- THE PROPERTY IS LOCATED IN OTHER AREAS ZONE X (AREAS OF MINIMAL FLOOD HAZARD) PER MAP ENTITLED "FEMA, NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP, FREDERICK COUNTY, VIRGINIA AND INCORPORATED AREAS, PANEL 217 OF 375", MAP NUMBER 51069C0217E, WITH A MAP EFFECTIVE DATE OF JANUARY 29, 2021; AND PANEL 216 OF 375, MAP NUMBER 51069C0218E, WITH AN EFFECTIVE DATE OF JANUARY 29, 2021; AND PANEL 219 OF 375, MAP NUMBER 51069C0219E, WITH AN EFFECTIVE DATE OF JANUARY 29, 2021.
- NO SURVEY OF SUBTERRANEAN STRUCTURES OR INTERIOR SPACES SUCH AS FOOTINGS, FOUNDATIONS, VAULTS OR BASEMENTS WAS PERFORMED AS PART OF THIS LAND SURVEY, AND THIS PLAN SHOULD NOT BE CONSTRUED AS CERTIFICATION TO THE EXISTENCE OR LOCATION OF THE SAME.
- THERE ARE NO GAPIGORES OR OVERLAPS BETWEEN THE RIGHT-OF-WAY LINES OF FRONT ROYAL PIKE - U.S. ROUTE 522 & COSTELLO DRIVE AND THE SUBJECT PARCEL.
- THE SUBJECT PARCELS AND ITS ADJOINING PROPERTIES ARE CONTIGUOUS WITHOUT STRIPS, GAPS, AND/OR GORES BETWEEN THEIR COMMON LINES.
- THE EXISTENCE OF UNDERGROUND STORAGE TANKS WAS KNOWN AT THE TIME OF THE FIELD SURVEY AND APPROXIMATE LOCATION IS SHOWN HEREON.
- PROPERTY HAS DIRECT PEDESTRIAN AND VEHICULAR ACCESS ALONG COSTELLO DRIVE AND FRONT ROYAL PIKE - U.S. ROUTE 522.

**REFERENCES:**

- UNDERGROUND WATERLINE SHOWN PER SITE UTILITY PLAN PREPARED BY GILBERT W. CLIFFORD AND ASSOCIATES, INC. DATED JULY 1994 AND LAST REVISED ON JANUARY 30, 1995.

**TITLE DESCRIPTION**

- LOT 1, CONTAINING 13.002 ACRES, AS SHOWN ON "FINAL SUBDIVISION PLAT FOR GARBER ESTATE" RECORDED WITH DEED OF DEDICATION AND DECLARATION OF SUBDIVISION RECORDED IN DEED BOOK 829 AT PAGE 487 AND PLAT REVISED IN DEED BOOK 838 AT PAGE 1360, IN THE OFFICE OF THE CLERK OF THE CIRCUIT COURT OF FREDERICK COUNTY, VIRGINIA.
- LOT 2, CONTAINING 4.293 ACRES, MORE OR LESS, AS SHOWN ON THE REVISED PLAT OF GARBER ESTATE (SEE INST. NO. 190006190 FOR COMPLETE DESCRIPTION)

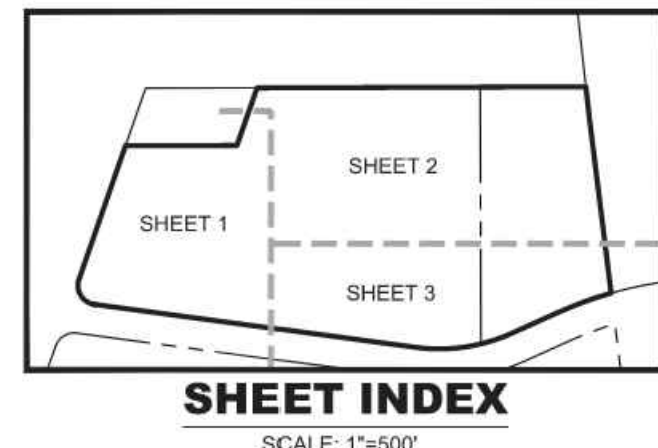
**TITLE NOTES:**

THIS SURVEY IS PREPARED WITH REFERENCE TO REPORT OF TITLE PREPARED BY C & I TITLE SERVICES FILE NO. C&I NO. 32863, WITH AN EFFECTIVE DATE OF JANUARY 23, 2023. OUR OFFICE HAS REVIEWED THE FOLLOWING SURVEY-RELATED EXCEPTIONS.

- NON-EXCLUSIVE RIGHT TO USE ALL THOSE EASEMENTS LOCATED ON THE 28.879 ACRES LOCATED OUTSIDE THE BOUNDARY LINES OF LOT 1 GRANTED IN DEED RECORDED IN DEED BOOK 829 AT PAGE 487 (FOR BENEFIT OF LOT 1) BENEFITS TITLE LOT 1 AND AFFECTS TITLE LOT 2. DOCUMENT GRANTS A NON-EXCLUSIVE RIGHT FOR TITLE LOT 1 TO USE ALL THOSE EASEMENTS LOCATED ON LOT 2 AND LOT 3, NOT PLOTTABLE, BLANKET IN NATURE.
- EASEMENTS GRANTED TO THE POTOMAC EDISON CO. IN (A) DEED BOOK 405 AT PAGE 117 (AFFECTS LOT 1), (B) DEED BOOK 406 AT PAGE 349, AND IN (C) DEED BOOK 838 AT PAGE 1666 (AFFECTS LOT 1):  
A) AFFECT TITLE LOT 1, POLYLINE SHOWN.  
B) DO NOT AFFECT TITLE LOTS 1 OR 2. EASEMENT IS LOCATED TO THE SOUTH.  
C) AFFECT TITLE LOT 1, APPROXIMATE LOCATION OF 10' EASEMENT SHOWN.
- EASEMENTS GRANTED TO THE COUNTY OF FREDERICK, VIRGINIA IN DEED OF DEDICATION AND DECLARATION OF SUBDIVISION RECORDED IN (A) DEED BOOK 829 AT PAGE 482 AND PLAT REVISED IN (B) DEED BOOK 838 AT PAGE 1360:  
A) DOES NOT AFFECT TITLE LOTS 1 OR 2. DOCUMENT CREATES LOTS 1, 2 & 3 AND DEDICATES TO THE COUNTY WHAT IS NOW KNOWN AS COSTELLO DRIVE. ALL EASEMENTS SHOWN IN DOCUMENT ARE VACATED BY DEED BOOK 838 PAGE 1360 PER NOTE #4.  
B) AFFECT TITLE LOTS 1 & 2, PLOTTABLE ITEMS SHOWN.
- EASEMENTS GRANTED TO NORTHERN VIRGINIA POWER CO IN (A) DEED BOOK 163 AT PAGE 119, (B) DEED BOOK 170 AT PAGE 230, (C) DEED BOOK 177 AT PAGE 363, (D) DEED BOOK 178 AT PAGE 92, (E) DEED BOOK 222 AT PAGE 331, (F) DEED BOOK 287 AT PAGE 381 (AFFECTS LOT 1) AND IN (G) DEED BOOK 288 AT PAGE 146 (AFFECTS LOT 1):  
A) DO NOT AFFECT TITLE LOTS 1 OR 2. EASEMENT IS LOCATED TO THE WEST NEAR ROUTE 37.  
B) MAY AFFECT TITLE LOTS 1 AND 2, NOT PLOTTABLE, VAGUE AND INSUFFICIENT INFORMATION IN RECORD DOCUMENT.  
C) MAY AFFECT TITLE LOTS 1 AND 2, NOT PLOTTABLE, VAGUE AND INSUFFICIENT INFORMATION IN RECORD DOCUMENT.  
D) MAY AFFECT TITLE LOTS 1 AND 2, NOT PLOTTABLE, VAGUE AND INSUFFICIENT INFORMATION IN RECORD DOCUMENT.  
E) MAY AFFECT TITLE LOTS 1 AND 2, NOT PLOTTABLE, VAGUE AND INSUFFICIENT INFORMATION IN RECORD DOCUMENT.  
F) MAY AFFECT TITLE LOTS 1 AND 2, NOT PLOTTABLE, VAGUE AND INSUFFICIENT INFORMATION IN RECORD DOCUMENT.  
G) MAY AFFECT TITLE LOTS 1 AND 2, NOT PLOTTABLE, VAGUE AND INSUFFICIENT INFORMATION IN RECORD DOCUMENT.
- EASEMENTS GRANTED TO CHESAPEAKE AND POTOMAC TELEPHONE CO. OF VA. IN (A) DEED BOOK 175 AT PAGE 182 (AFFECTS LOT 1) AND IN (B) DEED BOOK 279 AT PAGE 672:  
A) DO NOT AFFECT TITLE LOTS 1 OR 2. EASEMENT IS LOCATED TO THE NORTHWEST NEAR CLIFFORD STREET.  
B) MAY AFFECT TITLE LOTS 1 AND 2, NOT PLOTTABLE, VAGUE AND INSUFFICIENT INFORMATION IN RECORD DOCUMENT.
- EASEMENT TO THE COMMONWEALTH OF VIRGINIA IN DEED BOOK 224 AT PAGE 287 (RECITES "INCLUDING SUCH DRAINAGE FACILITIES AS MAY BE NECESSARY" (AFFECTS LOT 1)). MAY AFFECT TITLE LOTS 1 AND 2, NOT PLOTTABLE, VAGUE AND INSUFFICIENT INFORMATION IN RECORD DOCUMENT.
- DEED OF EASEMENT WITH THE CITY OF WINCHESTER, VIRGINIA RECORDED IN DEED BOOK 422 AT PAGE 668 (AFFECTS LOT 1); AFFECTS TITLE LOT 1, 20' WATER AND SEWER EASEMENT SHOWN.
- DEED OF EASEMENT WITH FREDERICK COUNTY SANITATION AUTHORITY RECORDED IN DEED BOOK 838 AT PAGE 1470; AFFECTS TITLE LOT 2, WATER AND SEWER EASEMENTS SHOWN.
- BILL OF SALE WITH FREDERICK COUNTY SANITATION AUTHORITY RECORDED IN DEED BOOK 957 AT PAGE 1609; DOES NOT AFFECT TITLE LOTS 1 OR 2. DOCUMENT IS A BILL OF SALE FOR THE WATER AND SEWER FACILITIES AND APPURTENANCES WITHIN THE RIGHT-OF-WAY NOW KNOWN AS COSTELLO DRIVE.

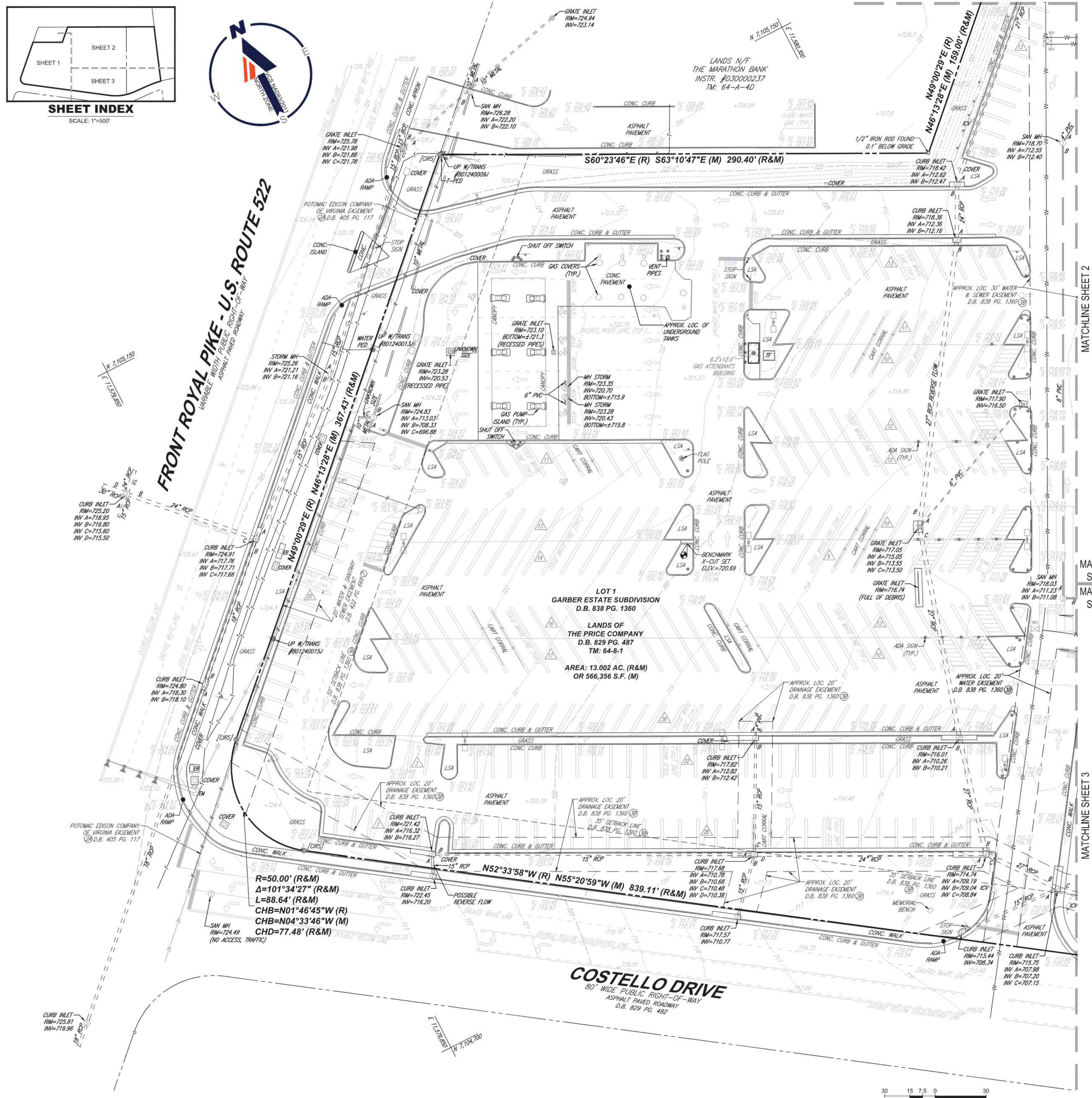
**UTILITIES:**  
THE FOLLOWING COMPANIES WERE NOTIFIED BY VIRGINIA MISS UTILITY SYSTEM (1-800-552-7001) AND REQUESTED TO MARK OUT UNDERGROUND FACILITIES AFFECTING AND SERVING THIS SITE. THE UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS BASED UPON THE UTILITY COMPANIES RESPONSE TO THIS REQUEST. TICKET NUMBER: 8301301118-008

UTILITY COMPANY	LOCATION STATUS	PHONE NUMBER
COMCAST	MARKED	877-359-1821
FREDERICK-WATER & SEWER	PLANS PROVIDED	540-662-6162
LUMCO DBA SEGRA	MARKED	877-411-6930
RAPPANHANOVCK ELECTRIC	NO CONFLICT	800-552-3804
WASHINGTON GAS-SHENANDOAH	NO CONFLICT	540-869-1111
SHENTEL UNREGULATED	NO CONFLICT	540-984-5531
SHENANDOAH VALLEY ELECTRIC	NO CONFLICT	540-450-2051
VERIZON	NO CONFLICT	888-483-1233
WINCHESTER CITY-WTR&SWR	MARKED	540-974-8734



**SHEET INDEX**  
SCALE: 1"=500'

**FRONT ROYAL PIKE - U.S. ROUTE 522**  
15' WIDE PUBLIC RIGHT-OF-WAY  
ASPHALT PAVED ROADWAY



**LOCATION MAP**  
SCALE: 1"=2000'

**LEGEND**

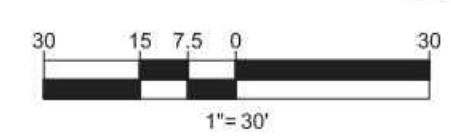
- 123 EXISTING CONTOUR
- x 123.45 EXISTING SPOT ELEVATION
- x 10 123.45 EXIST. TOP OF CURB ELEVATION
- x G 122.95 EXIST. GUTTER ELEVATION
- HYDRANT
- WATER VALVE
- GAS VALVE
- OVERHEAD WIRES
- APPROX. LOC. UNDERGROUND WATER LINE PER UTILITY MARKOUT
- APPROX. LOC. UNDERGROUND WATER LINE PER REF. #1
- APPROX. LOC. UNDERGROUND TEL. LINE PER UTILITY MARKOUT
- APPROX. LOC. UNDERGROUND ELEC. LINE PER UTILITY MARKOUT
- UTILITY POLE
- ELECTRIC METER
- ELECTRIC BOX
- TRANSFORMER
- SANITARY MANHOLE
- STORM DRAIN MANHOLE
- GAS METER
- SIGN
- FIRE DEPARTMENT CONNECTION
- BOLLARD
- U-BOLLARD
- IRRIGATION CONTROL VALVE
- FENCE
- LANDSCAPED AREA
- AREA LIGHT
- CLEAN OUT
- PAINTED ARROWS
- TITLE REPORT EXCEPTION
- DENOTES PARKING SPACE COUNT
- BENCHMARK
- UTILITY POLE/LIGHT POLE
- GUY WIRE
- TRAFFIC SIGNAL POLE
- TREE LINE
- IRON ROD W/ CAP SET ON 02/08/2023
- X-CUT SET ON 02/08/2023
- (M) MEASURED
- (R) RECORD

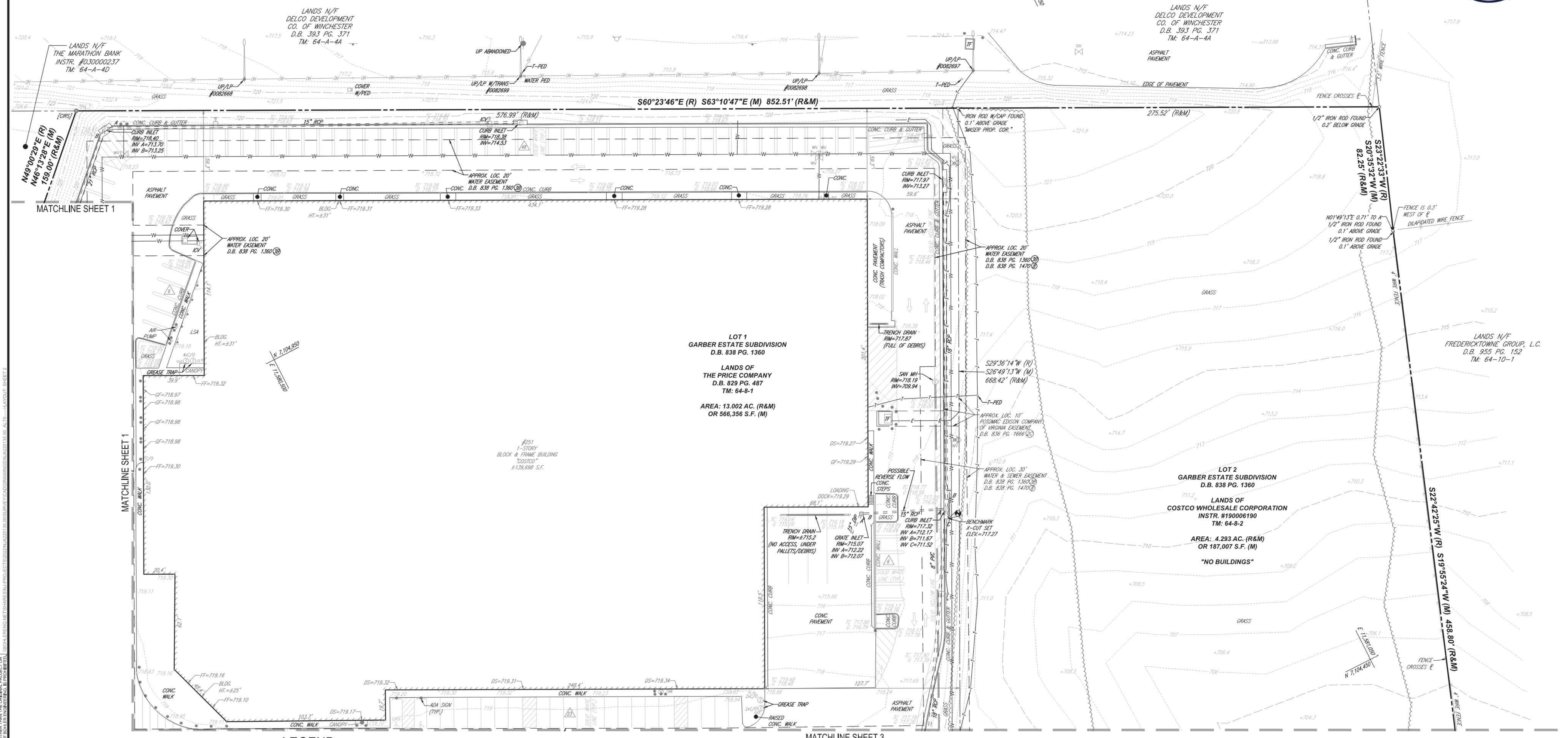
TO THE PRICE COMPANY, A CALIFORNIA CORPORATION; COSTCO WHOLESALER CORPORATION, A WASHINGTON CORPORATION; C&I TITLE SERVICES, INC.: THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 7(A), 7(B)(1), 7(C), 8, 9, 13 & 14 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON JANUARY 27, 2023.

COMMONWEALTH OF VIRGINIA  
**ERIC K. NISKANEN**  
LAND SURVEYOR  
Lic. No. 1524-B  
2-14-23  
DATE

**ALTA/NSPS LAND TITLE SURVEY**  
**COSTCO** COSTCO WINCHESTER  
351 FRONT ROYAL PIKE  
SHAWNEE MAGISTRAL DISTRICT  
FREDERICK COUNTY, VIRGINIA

FILE NO.	<b>BOHLER</b>		12825 WORLDGATE DRIVE, SUITE 700
DATE	02/14/2023		HERNDON, VIRGINIA 20170
FIELD DATE	CREW CHIEF	DRAWN	REVIEWED
02/08/2023	JDM/O	CT	SE
	EN	EN	EN
	AS NOTED	SCALE	DWG. NO.
			1 OF 3





LOT 1  
GARBER ESTATE SUBDIVISION  
D.B. 838 PG. 1360

LANDS OF  
THE PRICE COMPANY  
D.B. 829 PG. 487  
TM: 64-8-1

AREA: 13.002 AC. (R&M)  
OR 566,356 S.F. (M)

LOT 2  
GARBER ESTATE SUBDIVISION  
D.B. 838 PG. 1360

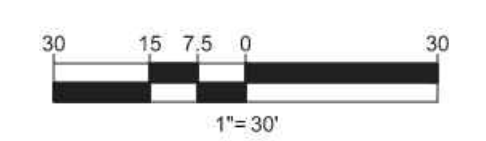
LANDS OF  
COSTCO WHOLESALE CORPORATION  
INSTR. #190006190  
TM: 64-8-2

AREA: 4.293 AC. (R&M)  
OR 187,007 S.F. (M)

"NO BUILDINGS"

LEGEND

--- 123 ---	EXISTING CONTOUR	⊗	FENCE
x 123.45	EXISTING SPOT ELEVATION	⊗	LANDSCAPED AREA
x 123.45	EXIST. TOP OF CURB ELEVATION	⊗	AREA LIGHT
x 123.95	EXIST. GUTTER ELEVATION	⊗	CLEAN OUT
⊗	HYDRANT	⊗	PAINTED ARROWS
⊗	WATER VALVE	⊗	TITLE REPORT EXCEPTION
⊗	GAS VALVE	⊗	DENOTES PARKING SPACE COUNT
OH	OVERHEAD WIRES	⊗	BENCHMARK
---	APPROX. LOC. UNDERGROUND WATER LINE PER UTILITY MARKOUT	⊗	UTILITY POLE/LIGHT POLE
---	APPROX. LOC. UNDERGROUND WATER LINE PER REF. #1	⊗	GUY WIRE
---	APPROX. LOC. UNDERGROUND TEL. LINE PER UTILITY MARKOUT	⊗	TRAFFIC SIGNAL POLE
---	APPROX. LOC. UNDERGROUND ELEC. LINE PER UTILITY MARKOUT	⊗	TREE LINE
[X] ⊗	X-CUT SET ON 02/08/2023	⊗	
[ORS] ⊗	IRON ROD W/CAP SET ON 02/08/2023	⊗	
⊗	UTILITY POLE	⊗	
⊗	ELECTRIC METER	⊗	
⊗	ELECTRIC BOX	⊗	
⊗	TRANSFORMER	⊗	
⊗	SANITARY MANHOLE	⊗	
⊗	STORM DRAIN MANHOLE	⊗	
⊗	GAS METER	⊗	
⊗	SIGN	⊗	
⊗	FIRE DEPARTMENT CONNECTION	⊗	
⊗	BOLLARD	⊗	
⊗	U-BOLLARD	⊗	
⊗	IRRIGATION CONTROL VALVE	⊗	
(M)	MEASURED	⊗	
(R)	RECORD	⊗	



ERIC K. NISKANEN  
LAND SURVEYOR  
Lic. No. 1524-B  
2-14-23

ALTA/NSPS LAND TITLE SURVEY

**COSTCO** WHOLESALE  
COSTCO WINCHESTER

351 FRONT ROYAL PIKE  
SHAWNEE MAGISTERIAL DISTRICT  
FREDERICK COUNTY, VIRGINIA

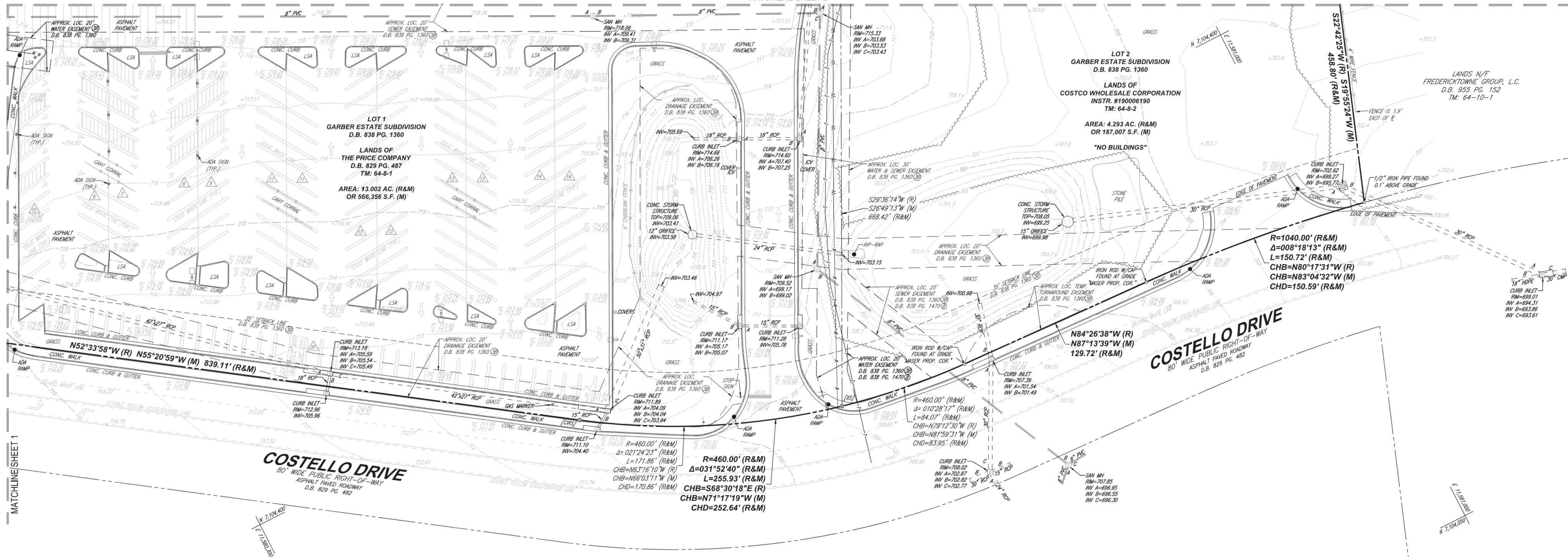
FILE NO. NJA20195-00  
DATE 02/14/2023  
FIELD DATE 02/08/2023

**BOHLER** // 12825 WORLDGATE DRIVE, SUITE 700, HERNDON, VIRGINIA 20170, 703.709.9500, www.bohlerengineering.com

CREW CHIEF JD/MO  
DRAWN CT  
REVIEWED SE  
APPROVED EN  
SCALE 1" = 30'  
DWG. NO. 2 OF 3



MATCHLINE SHEET 2



MATCHLINE SHEET 1

**COSTELLO DRIVE**  
80' WIDE PUBLIC RIGHT-OF-WAY  
ASPHALT PAVED ROADWAY  
D.B. 829 PG. 482

**COSTELLO DRIVE**  
80' WIDE PUBLIC RIGHT-OF-WAY  
ASPHALT PAVED ROADWAY  
D.B. 829 PG. 482

**LOT 1**  
GARBER ESTATE SUBDIVISION  
D.B. 838 PG. 1360  
**LANDS OF THE PRICE COMPANY**  
D.B. 829 PG. 487  
TM: 64-8-1  
AREA: 13,002 AC. (R&M)  
OR 566,356 S.F. (M)

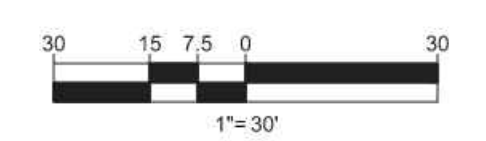
**LOT 2**  
GARBER ESTATE SUBDIVISION  
D.B. 838 PG. 1360  
**LANDS OF COSTCO WHOLESALE CORPORATION**  
INSTR. #190006190  
TM: 64-8-2  
AREA: 4.293 AC. (R&M)  
OR 187,007 S.F. (M)  
"NO BUILDINGS"

**LANDS N/F**  
FREDERICKTOWNE GROUP, L.C.  
D.B. 955 PG. 152  
TM: 64-10-1

- 123 --- EXISTING CONTOUR
- x 123.45 EXISTING SPOT ELEVATION
- x 123.45 EXIST. TOP OF CURB ELEVATION
- x 123.45 EXIST. GUTTER ELEVATION
- HYDRANT
- WATER VALVE
- GAS VALVE
- OH OVERHEAD WIRES
- APPROX. LOC. UNDERGROUND WATER LINE PER UTILITY MARKOUT
- APPROX. LOC. UNDERGROUND WATER LINE PER REF. #1
- APPROX. LOC. UNDERGROUND TEL. LINE PER UTILITY MARKOUT
- APPROX. LOC. UNDERGROUND ELEC. LINE PER UTILITY MARKOUT
- [MS] (M) X-CUT SET ON 02/08/2023
- [ORS] (R) IRON ROD W/CAP SET ON 02/08/2023

**LEGEND**

- UTILITY POLE
- ELECTRIC METER
- ELECTRIC BOX
- TRANSFORMER
- SANITARY MANHOLE
- STORM DRAIN MANHOLE
- GAS METER
- OH OVERHEAD WIRES
- APPROX. LOC. UNDERGROUND WATER LINE PER UTILITY MARKOUT
- APPROX. LOC. UNDERGROUND WATER LINE PER REF. #1
- APPROX. LOC. UNDERGROUND TEL. LINE PER UTILITY MARKOUT
- APPROX. LOC. UNDERGROUND ELEC. LINE PER UTILITY MARKOUT
- [MS] (M) X-CUT SET ON 02/08/2023
- [ORS] (R) IRON ROD W/CAP SET ON 02/08/2023
- UTILITY POLE
- LANDSCAPED AREA
- AREA LIGHT
- CLEAN OUT
- PAINTED ARROWS
- TITLE REPORT EXCEPTION
- DENOTES PARKING SPACE COUNT
- SIGN
- BENCHMARK
- UTILITY POLE/LIGHT POLE
- GUY WIRE
- TRAFFIC SIGNAL POLE
- TREE LINE



**ERIC K. NISKANEN**  
LAND SURVEYOR  
Lic. No. 1524-B  
2-14-23

**ALTA/NSPS LAND TITLE SURVEY**

**COSTCO WHOLESALE** COSTCO WINCHESTER

351 FRONT ROYAL PIKE  
SHAWNEE MAGISTERIAL DISTRICT  
FREDERICK COUNTY, VIRGINIA

FILE NO. NJA220135-00  
DATE 02/14/2023  
FIELD DATE 02/08/2023

**BOHLER**

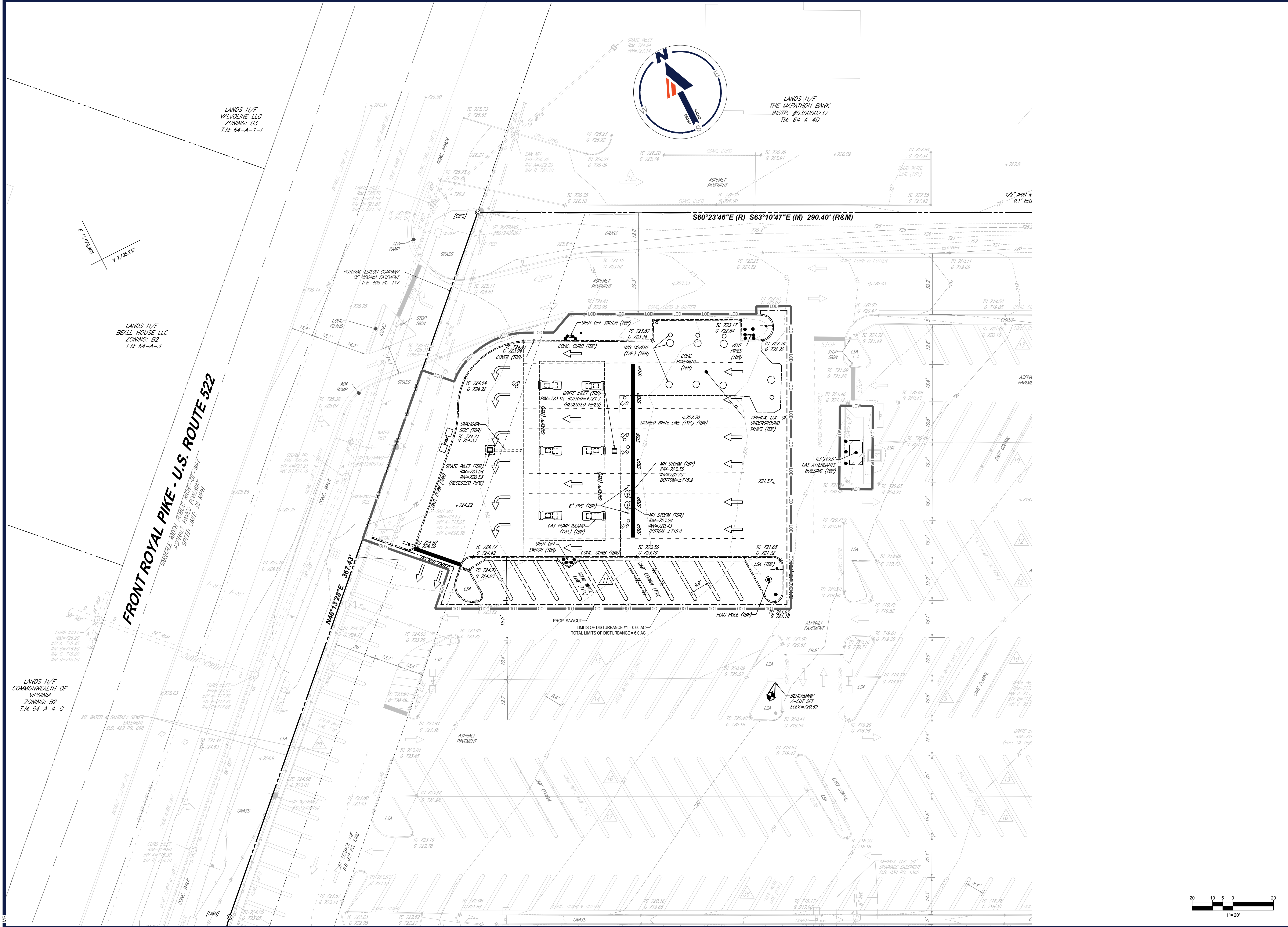
12825 WORLDGATE DRIVE, SUITE 700  
HERNDON, VIRGINIA 20170  
703.709.9500  
www.bohler-engineering.com

CREW CHIEF JD/MO  
DRAWN CT  
REVIEWED SE  
APPROVED EN  
SCALE 1" = 30'  
DWG. NO. 3 OF 3









**BOHLER**  
 SITE CIVIL AND CONSULTING ENGINEERING  
 PROGRAM MANAGEMENT  
 LANDSCAPE ARCHITECTURE  
 SUSTAINABLE DESIGN  
 PERMITTING SERVICES  
 TRANSPORTATION SERVICES

**REVISIONS**

REV	DATE	COMMENT	CHECKED BY
1	05/22/23	REV PER CLIENT COMMENT	MR AW
2	06/19/23	REV PER CLIENT COMMENT	MR AW

**811**  
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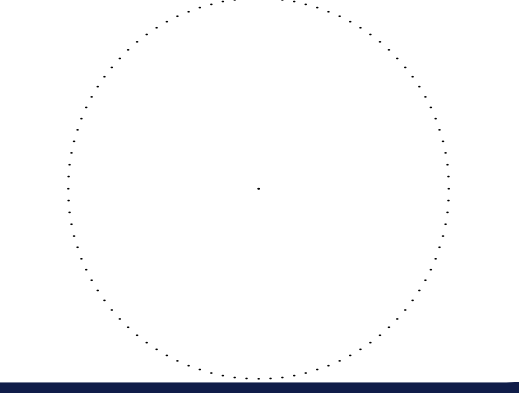
PROJECT No.: NJA220135.00  
 DRAWN BY: MR  
 CHECKED BY: AW  
 DATE: 03/27/23  
 CAD ID: DEMO-2

**PROP. PRELIMINARY ENGINEERING PLANS FOR**

**COSTCO WHOLESALE**

251 FRONT ROYAL PIKE  
 WINCHESTER, VA 22602  
 FREDERICK COUNTY  
 SHAWNEE MAGISTERIAL DISTRICT  
 TM: 64 08 0001

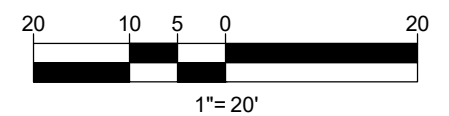
**BOHLER**  
 12825 WORLDGATE DR. SUITE 700  
 HERNDON, VIRGINIA 20170  
 Phone: (703) 709-9500  
 Fax: (703) 709-9501  
 VA@BohlerEng.com



SHEET TITLE:  
**DEMOLITION PLAN**

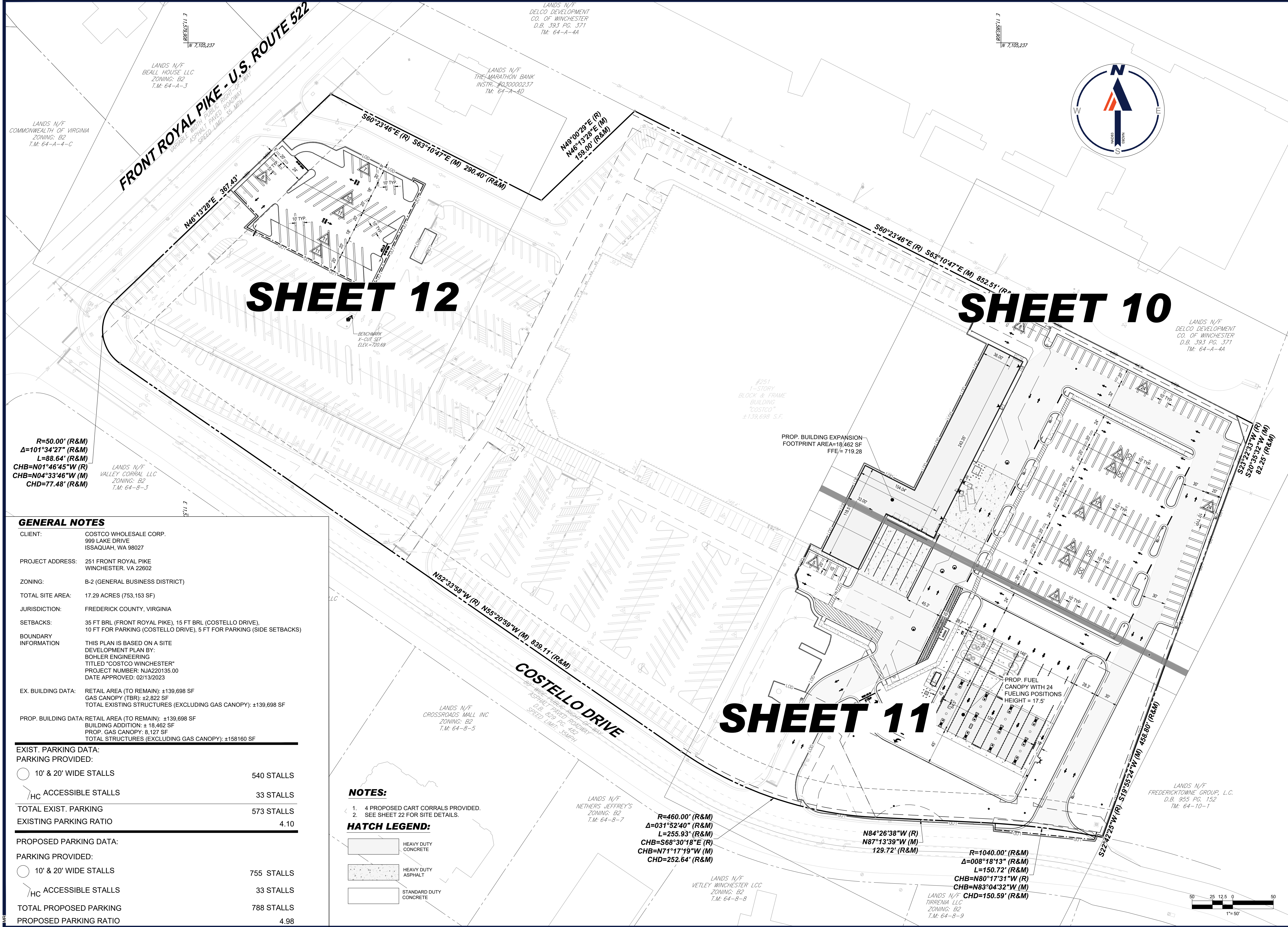
SHEET NUMBER:  
**8**

REVISION 2 - 06/19/23



JUN 30, 2023 10:08 AM C:\DRAWINGS\PROJECTS\2023\220135.00\CADD\DRAWINGS\PLAN SET\GREEN PLAN SET\JAYOUT - 8 - DEMOLITION PLAN.dwg





**SHEET 12**

**SHEET 10**

**SHEET 11**

**GENERAL NOTES**

CLIENT: COSTCO WHOLESALE CORP.  
999 LAKE DRIVE  
ISSAQUAH, WA 98027

PROJECT ADDRESS: 251 FRONT ROYAL PIKE  
WINCHESTER, VA 22602

ZONING: B-2 (GENERAL BUSINESS DISTRICT)

TOTAL SITE AREA: 17.29 ACRES (753,153 SF)

JURISDICTION: FREDERICK COUNTY, VIRGINIA

SETBACKS: 35 FT BRL (FRONT ROYAL PIKE), 15 FT BRL (COSTELLO DRIVE),  
10 FT FOR PARKING (COSTELLO DRIVE), 5 FT FOR PARKING (SIDE SETBACKS)

BOUNDARY INFORMATION: THIS PLAN IS BASED ON A SITE DEVELOPMENT PLAN BY: BOHLER ENGINEERING TITLED "COSTCO WINCHESTER" PROJECT NUMBER: NJA220135.00 DATE APPROVED: 02/13/2023

EX. BUILDING DATA: RETAIL AREA (TO REMAIN): ±139,698 SF  
GAS CANOPY (TBR): ±2,822 SF  
TOTAL EXISTING STRUCTURES (EXCLUDING GAS CANOPY): ±139,698 SF

PROP. BUILDING DATA: RETAIL AREA (TO REMAIN): ±139,698 SF  
BUILDING ADDITION: ± 18,462 SF  
PROP. GAS CANOPY: ± 127 SF  
TOTAL STRUCTURES (EXCLUDING GAS CANOPY): ±158160 SF

EXIST. PARKING DATA:  
PARKING PROVIDED:

10' & 20' WIDE STALLS	540 STALLS
HC ACCESSIBLE STALLS	33 STALLS
TOTAL EXIST. PARKING	573 STALLS
EXISTING PARKING RATIO	4.10

PROPOSED PARKING DATA:  
PARKING PROVIDED:

10' & 20' WIDE STALLS	755 STALLS
HC ACCESSIBLE STALLS	33 STALLS
TOTAL PROPOSED PARKING	788 STALLS
PROPOSED PARKING RATIO	4.98

- NOTES:**
- 4 PROPOSED CART CORRALS PROVIDED.
  - SEE SHEET 22 FOR SITE DETAILS.
- HATCH LEGEND:**
- HEAVY DUTY CONCRETE
  - HEAVY DUTY ASPHALT
  - STANDARD DUTY CONCRETE

**BOHLER**

SITE CIVIL AND CONSULTING ENGINEERING  
PROGRAM MANAGEMENT  
LANDSCAPE ARCHITECTURE  
SUSTAINABLE DESIGN  
PERMITTING SERVICES  
TRANSPORTATION SERVICES

**REVISIONS**

REV	DATE	COMMENT	DRAWN BY
1	05/22/23	REV PER CLIENT COMMENT	MR AW
2	06/19/23	REV PER CLIENT COMMENT	MR AW

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PROJECT No.: NJA220135.00  
DRAWN BY: MR AW  
DATE: 03/27/23  
CAD ID: SITE-2

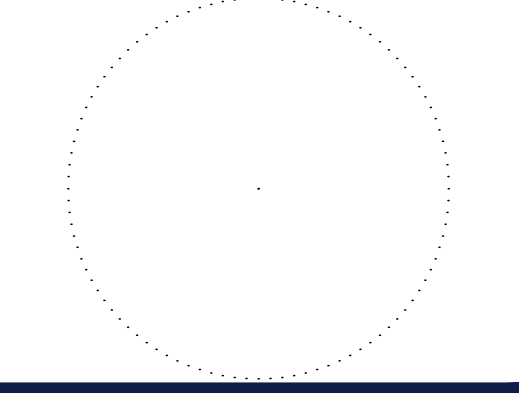
**PROP. PRELIMINARY ENGINEERING PLANS FOR**



251 FRONT ROYAL PIKE  
WINCHESTER, VA 22602  
FREDERICK COUNTY  
SHAWNEE MAGISTERIAL DISTRICT  
TM: 64 08 0001

**BOHLER**

18255 WORLDGATE DR. SUITE 700  
HERNDON, VIRGINIA 20170  
Phone: (703) 709-9500  
Fax: (703) 709-9501  
VA@BohlerEng.com



**OVERALL SITE PLAN**

SHEET NUMBER: **9**

REVISION 2 - 06/19/23

JUN 30, 2023 10:00 AM C:\DRAWINGS\PROJECTS\2022\NJA220135.00\CAD\DRAWINGS\PLAN SET\GREEN\INK PLAN\NJA220135.00-SITE-2-9-OVERALL SITE PLAN



LANDS N/F  
DELCO DEVELOPMENT  
CO. OF WINCHESTER  
D.B. 393 PG. 371  
TM: 64-A-4A



LANDS N/F  
FREDERICKTOWNE  
GROUP, L.C.  
D.B. 955 PG. 152  
TM: 64-10-1

**REVISIONS**

REV	DATE	COMMENT	DRAWN BY	CHECKED BY
1	05/22/23	REV PER CLIENT COMMENT	MR	AW
2	06/19/23	REV PER CLIENT COMMENT	MR	AW

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PROJECT No.: NJA220135.00  
DRAWN BY: MR  
CHECKED BY: AW  
DATE: 03/27/23  
CAD ID: SITE-2

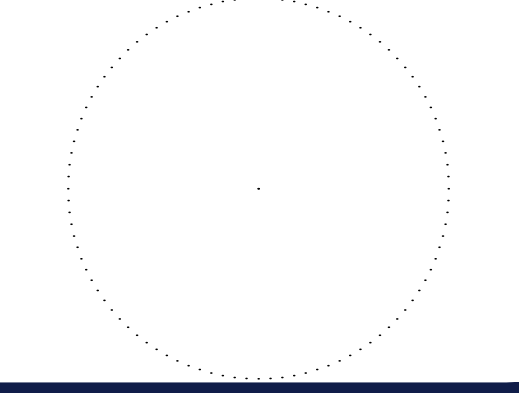
PROJECT: **PROP. PRELIMINARY ENGINEERING PLANS FOR**

**COSTCO WHOLESALE**

251 FRONT ROYAL PIKE  
WINCHESTER, VA 22602  
FREDERICK COUNTY  
SHAWNEE MAGISTERIAL DISTRICT  
TM: 64 08 0001

**BOHLER**

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Phone: (703) 709-9500  
Fax: (703) 709-9501  
VA@BohlerEng.com



SHEET TITLE: **SITE PLAN**

SHEET NUMBER: **10**

REVISION 2 - 06/19/23

**HATCH LEGEND:**

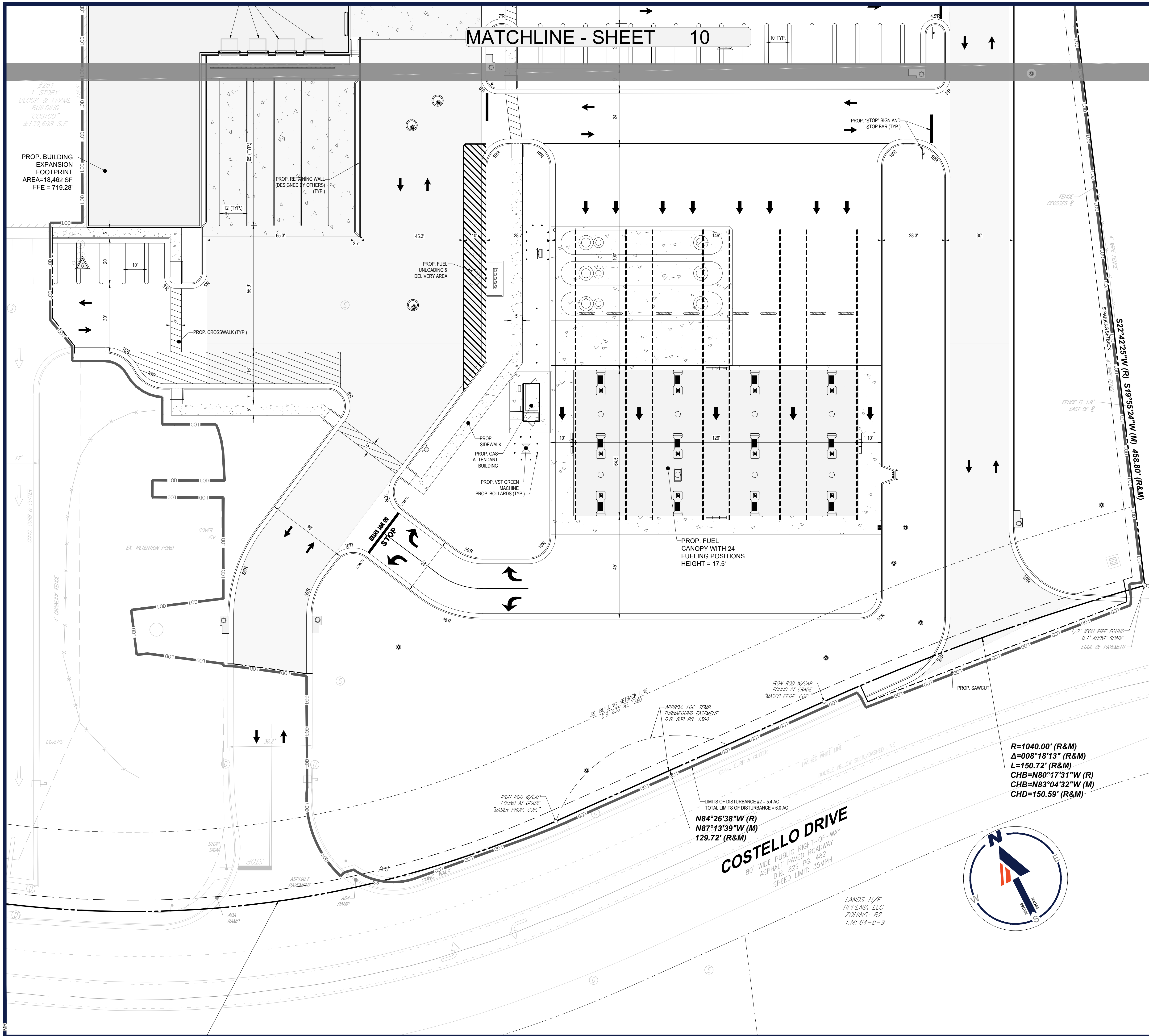
- HEAVY DUTY CONCRETE
- HEAVY DUTY ASPHALT
- STANDARD DUTY CONCRETE

1"=20'

MATCHLINE - SHEET 11

JUN 30, 2023 10:08:10 AM C:\DRAWINGS\PROJECTS\2023\220135\00\CADD\DRAWINGS\PLAN SET\GREEN LINE PLAN\VA20135.00\SITE-2.dwg - LAYOUT: 10 - SITE PLAN

JUN 30, 2023  
 BOHLERENGINEERING\PROJECTS\2022\150.00\CAD\DRAWINGS\PLAN SET\GREEN INK PLAN\150.00 SITE 11 - SITE PLAN



**HATCH LEGEND:**

	HEAVY DUTY CONCRETE
	HEAVY DUTY ASPHALT
	STANDARD DUTY CONCRETE

20 10 5 0 20  
1"=20'



**BOHLER**

SITE CIVIL AND CONSULTING ENGINEERING  
 PROGRAM MANAGEMENT  
 LANDSCAPE ARCHITECTURE  
 SUSTAINABLE DESIGN  
 PERMITTING SERVICES  
 TRANSPORTATION SERVICES

REVISIONS				
REV	DATE	COMMENT	CHECKED BY	DRAWN BY
1	05/22/23	REV PER CLIENT COMMENT	MR	AW
2	06/19/23	REV PER CLIENT COMMENT	MR	AW

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PROJECT No.: NJA220135.00  
 DRAWN BY: MR  
 CHECKED BY: AW  
 DATE: 03/27/23  
 CAD ID: SITE-2

**PROP. PRELIMINARY ENGINEERING PLANS FOR**

251 FRONT ROYAL PIKE  
 WINCHESTER, VA 22602  
 FREDERICK COUNTY  
 SHAWNEE MAGISTERIAL DISTRICT  
 T.M. 64 08 0001

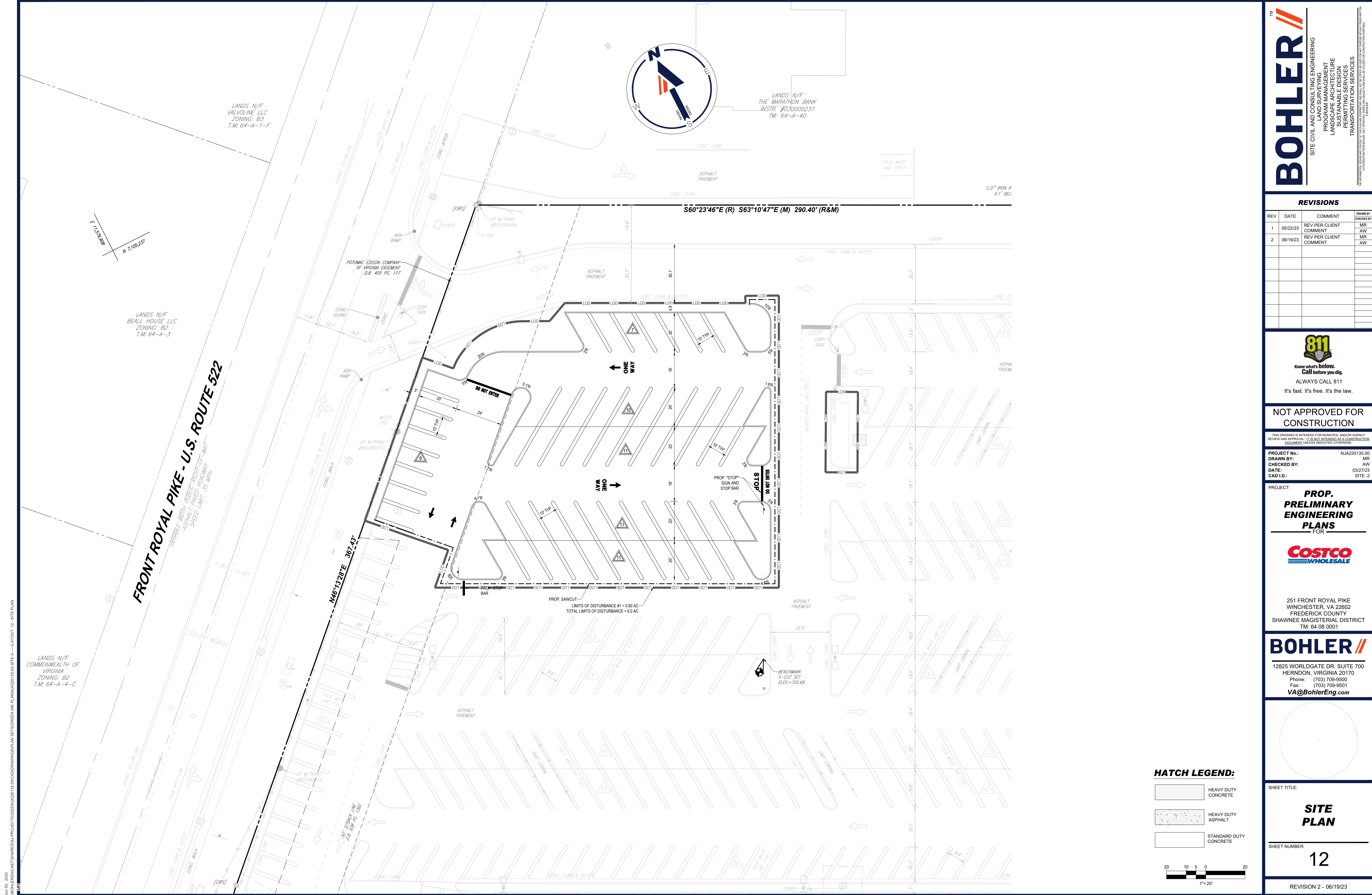
**BOHLER**

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 HERNDON, VIRGINIA 20170  
 Phone: (703) 709-9500  
 Fax: (703) 709-9501  
 VA@BohlerEng.com

SHEET TITLE:  
**SITE PLAN**

SHEET NUMBER:  
**11**

REVISION 2 - 06/19/23



JUN 30, 2023  
 BOHLER ENGINEERING PROJECTS 2022NJA220135.00.CADDRAWINGSPLAN SET GREEN LINE PLANVAJ20135.00.SITE-2-12-SITE PLAN

**BOHLER**  
 SITE CIVIL AND CONSULTING ENGINEERING  
 PROGRAM MANAGEMENT  
 LANDSCAPE ARCHITECTURE  
 SUSTAINABLE DESIGN  
 PERMITTING SERVICES  
 TRANSPORTATION SERVICES

REVISIONS				
REV	DATE	COMMENT	CHECKED BY	DRAWN BY
1	05/22/23	REV PER CLIENT COMMENT	MR	AW
2	06/19/23	REV PER CLIENT COMMENT	MR	AW

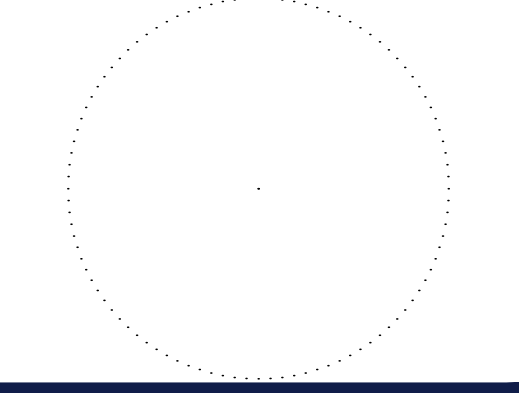
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PROJECT No.: NJA220135.00  
 DRAWN BY: MR  
 CHECKED BY: AW  
 DATE: 03/27/23  
 CAD ID: SITE-2

**PROJECT:**  
**PROP. PRELIMINARY ENGINEERING PLANS FOR**  
  
 251 FRONT ROYAL PIKE  
 WINCHESTER, VA 22602  
 FREDERICK COUNTY  
 SHAWNEE MAGISTERIAL DISTRICT  
 TM: 64 08 0001

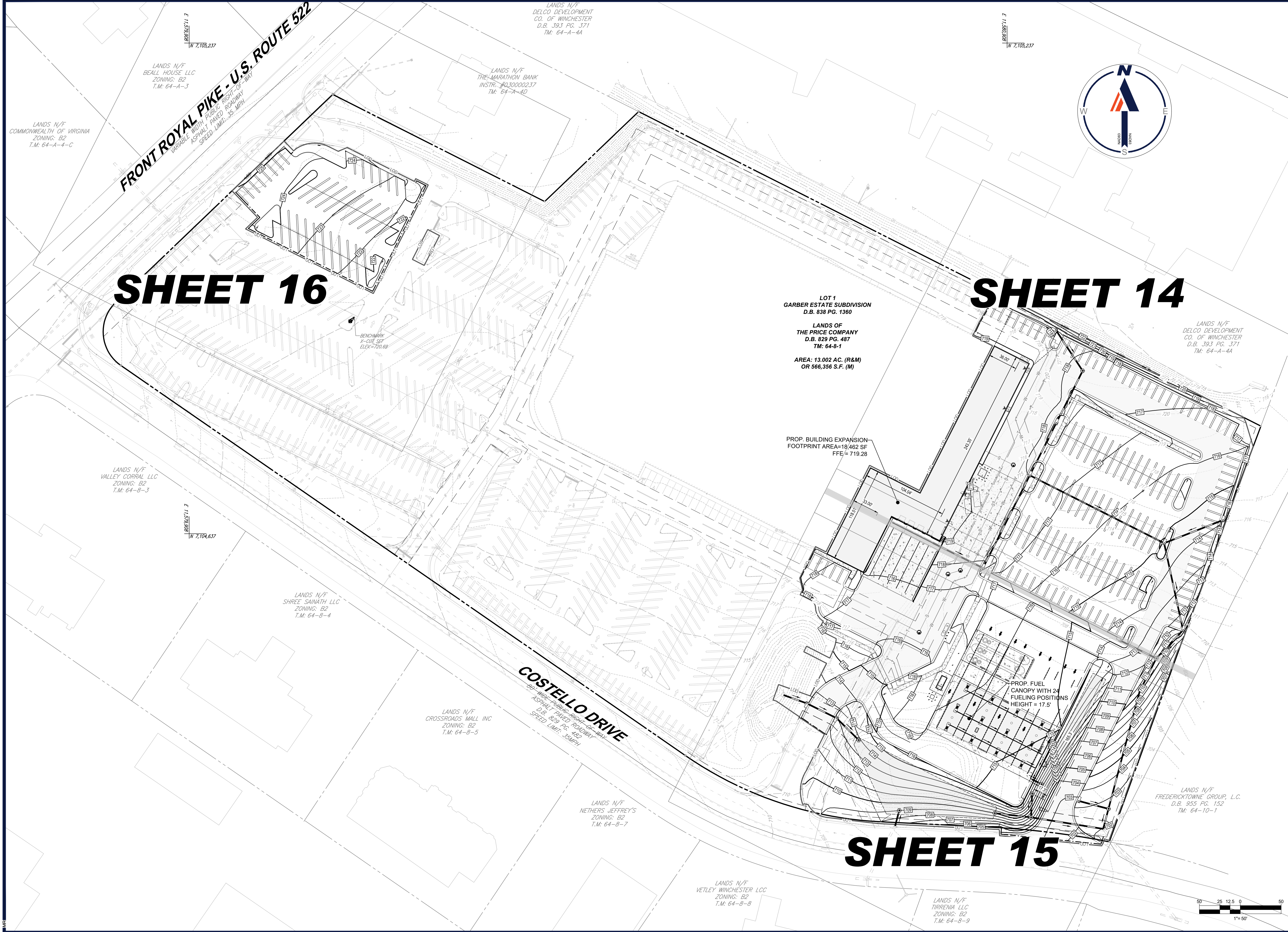
**BOHLER**  
 12825 WORLDGATE DR. SUITE 700  
 HERNDON, VIRGINIA 20170  
 Phone: (703) 709-9500  
 Fax: (703) 709-9501  
 VA@BohlerEng.com



SHEET TITLE:  
**SITE PLAN**  
 SHEET NUMBER:  
**12**  
 REVISION 2 - 06/19/23

**HATCH LEGEND:**  

- HEAVY DUTY CONCRETE
- HEAVY DUTY ASPHALT
- STANDARD DUTY CONCRETE



**SHEET 16**

**SHEET 14**

**SHEET 15**

LANDS N/F  
DELCO DEVELOPMENT  
CO. OF WINCHESTER  
D.B. 393 PG. 371  
T.M. 64-A-4A

LANDS N/F  
THE MARATHON BANK  
INSTR. #030000237  
T.M. 64-A-4D

LANDS N/F  
BEALL HOUSE LLC  
ZONING: B2  
T.M. 64-A-3

LANDS N/F  
COMMONWEALTH OF VIRGINIA  
ZONING: B2  
T.M. 64-A-4-C

LANDS N/F  
DELCO DEVELOPMENT  
CO. OF WINCHESTER  
D.B. 393 PG. 371  
T.M. 64-A-4A

LOT 1  
GARBER ESTATE SUBDIVISION  
D.B. 838 PG. 1360

LANDS OF  
THE PRICE COMPANY  
D.B. 829 PG. 487  
T.M. 64-8-1

AREA: 13.002 AC. (R&M)  
OR 566,356 S.F. (M)

PROP. BUILDING EXPANSION  
FOOTPRINT AREA=18,462 SF  
FFE= 719.28

PROP. FUEL  
CANOPY WITH 24  
FUELING POSITIONS  
HEIGHT = 17.5'

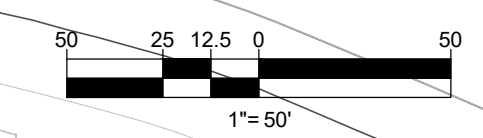
LANDS N/F  
SHREE SAINATH LLC  
ZONING: B2  
T.M. 64-8-4

LANDS N/F  
CROSSROADS MALL INC  
ZONING: B2  
T.M. 64-8-5

LANDS N/F  
NETHERS JEFFREY'S  
ZONING: B2  
T.M. 64-8-7

LANDS N/F  
VETLEY WINCHESTER LCC  
ZONING: B2  
T.M. 64-8-8

LANDS N/F  
TIRRENIA LLC  
ZONING: B2  
T.M. 64-8-9



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SITE CIVIL AND CONSULTING ENGINEERING  
PROGRAM MANAGEMENT  
LANDSCAPE ARCHITECTURE  
SUSTAINABLE DESIGN  
PERMITTING SERVICES  
TRANSPORTATION SERVICES

**REVISIONS**

REV	DATE	COMMENT	DRAWN BY	CHECKED BY
1	05/22/23	REV PER CLIENT COMMENT	MR	AW
2	06/19/23	REV PER CLIENT COMMENT	MR	AW

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PROJECT No.:	NJAZ220135.00
DRAWN BY:	MR
CHECKED BY:	AW
DATE:	03/27/23
CAD ID:	GRAD-2

PROJECT: **PROP. PRELIMINARY ENGINEERING PLANS FOR**



251 FRONT ROYAL PIKE  
WINCHESTER, VA 22602  
FREDERICK COUNTY  
SHAWNEE MAGISTERIAL DISTRICT  
T.M. 64 08 0001

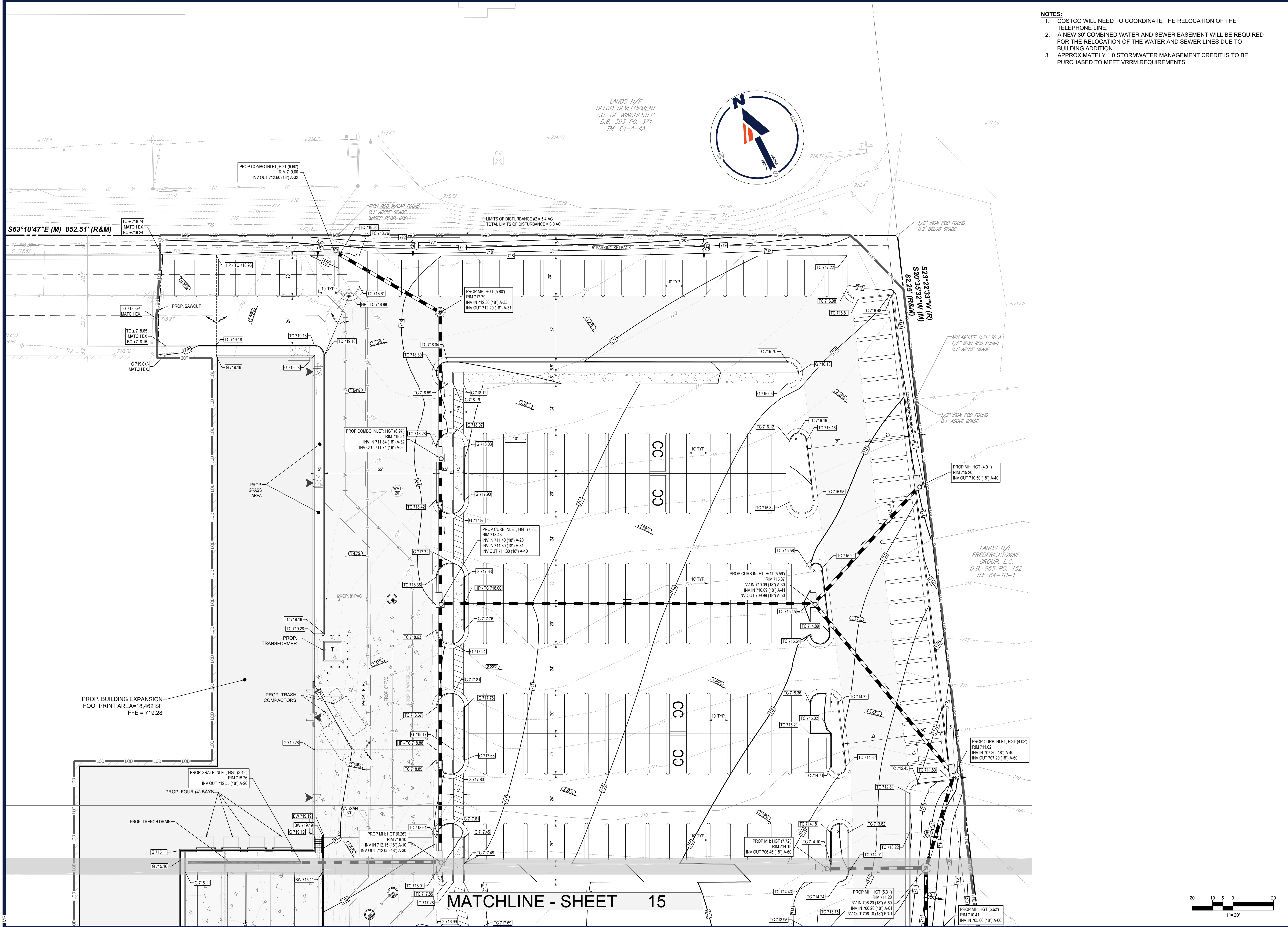
**BOHLER**  
12825 WORLDGATE DR. SUITE 700  
HERNDON, VIRGINIA 20170  
Phone: (703) 709-9500  
Fax: (703) 709-9501  
VA@BohlerEng.com

SHEET TITLE: **OVERALL GRADING, UTILITY, AND DRAINAGE PLAN**

SHEET NUMBER: **13**

REVISION 2 - 06/19/23

JUN 30, 2023 10:08:10 AM I:\PROJECTS\2023\NJAZ220135.00\CADD\DRAWINGS\PLAN SET\GREEN IN PLAN\NJAZ220135.00.GRAD2 - JAYDUT - 13 - OVERALL GRADING UTILITY AND DRAINAGE PLAN



- NOTES:**
1. COSTCO WILL NEED TO COORDINATE THE RELOCATION OF THE TELEPHONE LINE.
  2. A NEW 30' COMBINED WATER AND SEWER EASEMENT WILL BE REQUIRED FOR THE RELOCATION OF THE WATER AND SEWER LINES DUE TO BUILDING ADDITION.
  3. APPROXIMATELY 1.0 STORMWATER MANAGEMENT CREDIT IS TO BE PURCHASED TO MEET VRRM REQUIREMENTS.

**BOHLER**  
 SITE CIVIL AND CONSULTING ENGINEERING  
 PROGRAM MANAGEMENT  
 LANDSCAPE ARCHITECTURE  
 SUSTAINABLE DESIGN  
 PERMITTING SERVICES  
 TRANSPORTATION SERVICES

**REVISIONS**

REV	DATE	COMMENT	DRAWN BY
1	05/22/23	REV PER CLIENT COMMENT	MR AW
2	06/19/23	REV PER CLIENT COMMENT	MR AW

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PROJECT No.: NJA220135.00  
 DRAWN BY: MR  
 DATE: 03/27/23  
 CAD ID: GRAD-2

**PROP. PRELIMINARY ENGINEERING PLANS FOR**

**COSTCO WHOLESALE**

251 FRONT ROYAL PIKE  
 WINCHESTER, VA 22602  
 FREDERICK COUNTY  
 SHAWNEE MAGISTERIAL DISTRICT  
 TM: 64 08 0001

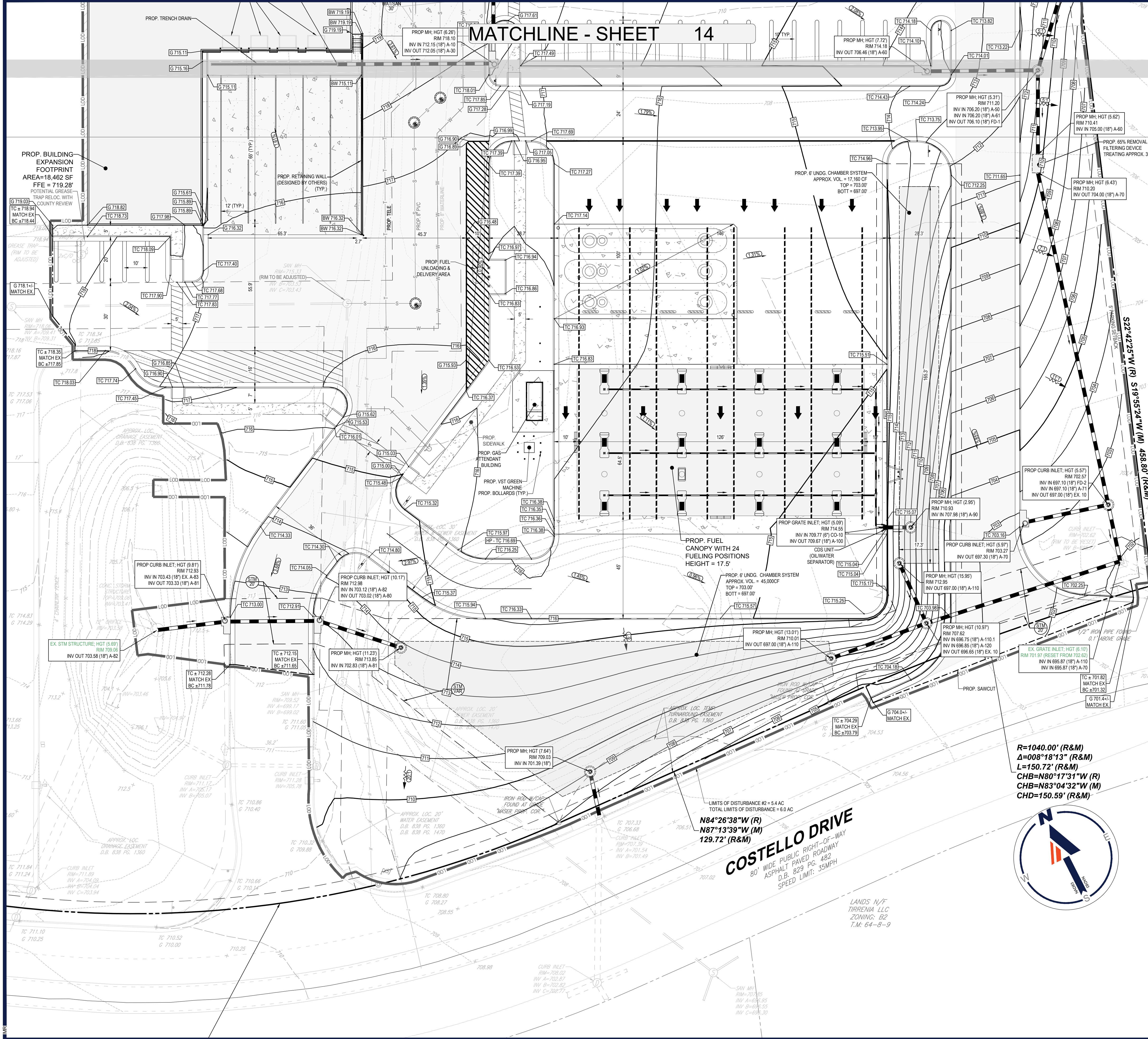
**BOHLER**

12825 WORLDGATE DR. SUITE 700  
 HERNDON, VIRGINIA 20170  
 Phone: (703) 709-9500  
 Fax: (703) 709-9501  
 VA@BohlerEng.com

SHEET TITLE  
**GRADING, UTILITY AND DRAINAGE PLAN**

SHEET NUMBER:  
**14**

REVISION 2 - 06/19/23



**NOTES:**  
 1. COSTCO WILL NEED TO COORDINATE THE RELOCATION OF THE TELEPHONE LINE.  
 2. A NEW 30' COMBINED WATER AND SEWER EASEMENT WILL BE REQUIRED FOR THE RELOCATION OF THE WATER AND SEWER LINES DUE TO BUILDING ADDITION.  
 3. APPROXIMATELY 1.0 STORMWATER MANAGEMENT CREDIT IS TO BE PURCHASED TO MEET VRRM REQUIREMENTS.

**BOHLER**  
 SITE CIVIL AND CONSULTING ENGINEERING  
 PROGRAM MANAGEMENT  
 LANDSCAPE ARCHITECTURE  
 SUSTAINABLE DESIGN  
 PERMITTING SERVICES  
 TRANSPORTATION SERVICES

**REVISIONS**

REV	DATE	COMMENT	DRAWN BY
1	05/22/23	REV PER CLIENT COMMENT	MR
2	06/19/23	REV PER CLIENT COMMENT	MR

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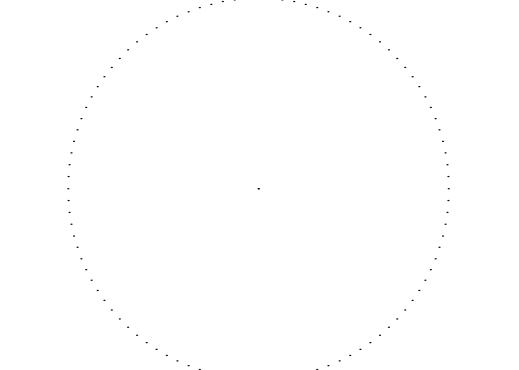
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PROJECT No.: NJA220135.00  
 DRAWN BY: MR  
 CHECKED BY: AW  
 DATE: 03/27/23  
 CAD ID: GRAD-2

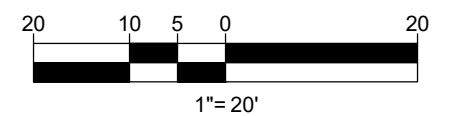
**PROP. PRELIMINARY ENGINEERING PLANS FOR**  
  
 251 FRONT ROYAL PIKE  
 WINCHESTER, VA 22602  
 FREDERICK COUNTY  
 SHAWNEE MAGISTERIAL DISTRICT  
 TM: 64 08 0001

**BOHLER**  
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 Fax: (703) 709-9501  
 VA@BohlerEng.com

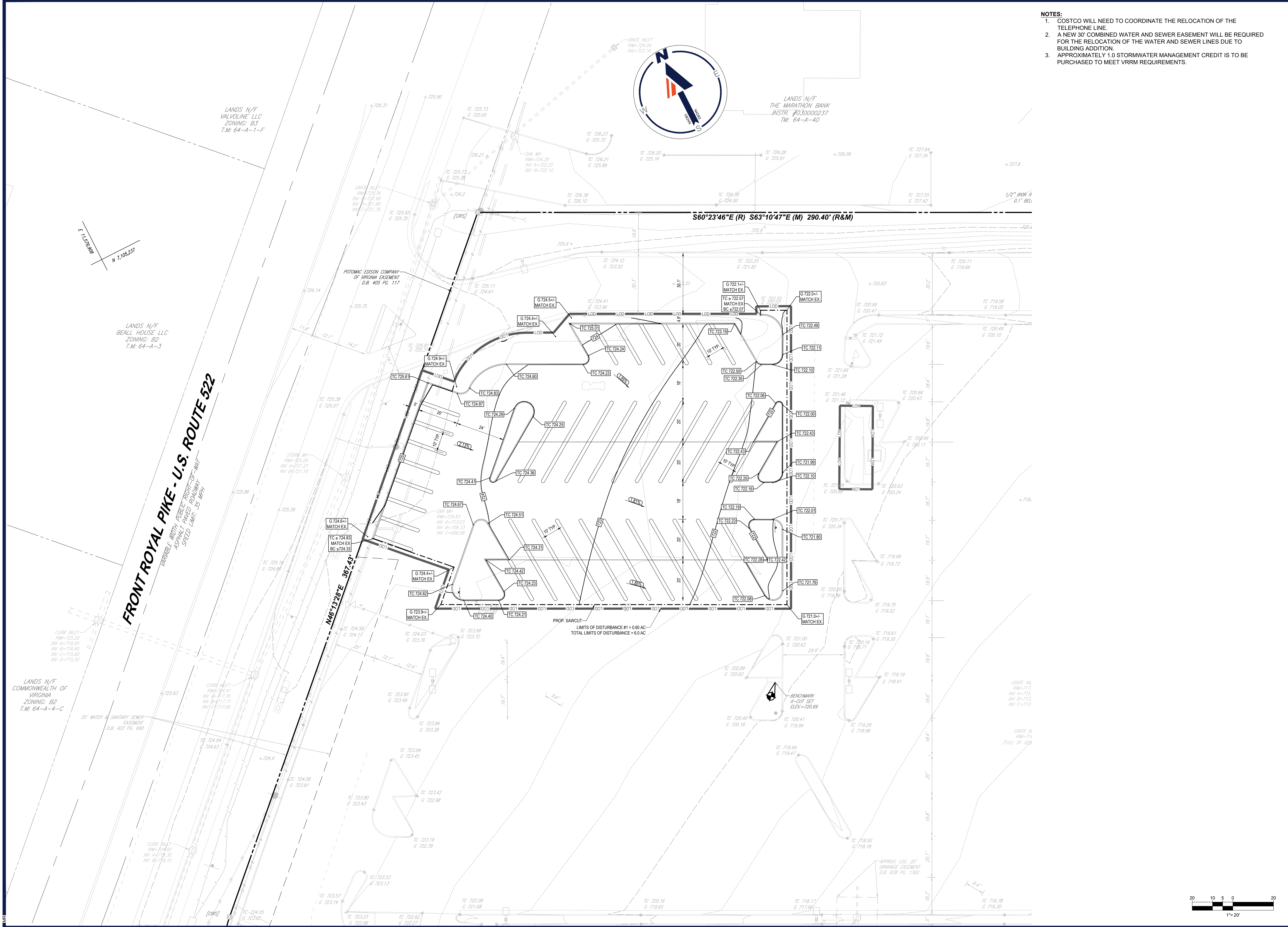


**GRADING, UTILITY, AND DRAINAGE PLAN**

SHEET NUMBER: **15**  
 REVISION 2 - 06/19/23



3/30/2023 BOHLER/ENG/NET/SHAWNEE/PROJECTS/2023/JA220135.00/CADD/DRAWINGS/PLAN SET/GRADING UTILITY AND DRAINAGE PLAN



- NOTES:**
1. COSTCO WILL NEED TO COORDINATE THE RELOCATION OF THE TELEPHONE LINE.
  2. A NEW 30' COMBINED WATER AND SEWER EASEMENT WILL BE REQUIRED FOR THE RELOCATION OF THE WATER AND SEWER LINES DUE TO BUILDING ADDITION.
  3. APPROXIMATELY 1.0 STORMWATER MANAGEMENT CREDIT IS TO BE PURCHASED TO MEET VRRM REQUIREMENTS.

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 SUSTAINABLE DESIGN  
 PERMITTING SERVICES  
 TRANSPORTATION SERVICES

**REVISIONS**

REV	DATE	COMMENT	DRAWN BY	CHECKED BY
1	05/22/23	REV PER CLIENT COMMENT	MR	AW
2	06/19/23	REV PER CLIENT COMMENT	MR	AW

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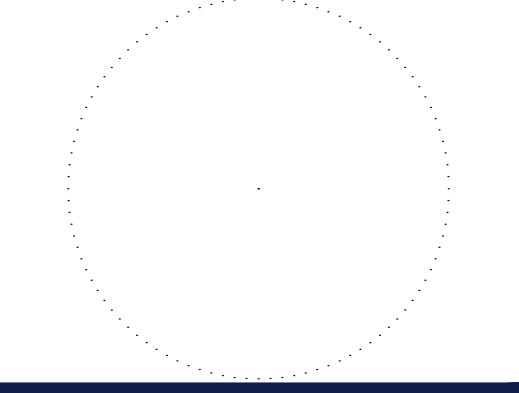
PROJECT No.: NJA220135.00  
 DRAWN BY: MR  
 CHECKED BY: AW  
 DATE: 03/27/23  
 CAD ID: GRAD-2

PROJECT: **PROP. PRELIMINARY ENGINEERING PLANS FOR**



251 FRONT ROYAL PIKE  
 WINCHESTER, VA 22602  
 FREDERICK COUNTY  
 SHAWNEE MAGISTERIAL DISTRICT  
 TM: 64 08 0001

**BOHLER**  
 12825 WORLDGATE DR. SUITE 700  
 HERNDON, VIRGINIA 20170  
 Phone: (703) 709-9500  
 Fax: (703) 709-9501  
 VA@BohlerEng.com



SHEET TITLE: **GRADING, UTILITY, AND DRAINAGE PLAN**

SHEET NUMBER: **16**

REVISION 2 - 06/19/23

JUN 30, 2023 BOHLER ENGINEERING PROJECTS\2023\220135.00\CADD\DRAWINGS\PLAN SET\GREEN\IN PLAN\220135.00\GRAD-2-16-JAY\OUT - 16 - GRADING UTILITY AND DRAINAGE PLAN



# SHEET 18

# SHEET 20

# SHEET 19

**FRONT ROYAL PIKE - U.S. ROUTE 522**  
 VARIABLE SPEED LIMIT: 35 MPH  
 ASPHALT PAVED ROADWAY  
 PUBLIC RIGHT-OF-WAY

**COSTELLO DRIVE**  
 60'-WIDE PUBLIC RIGHT-OF-WAY  
 ASPHALT PAVED ROADWAY  
 D.S. 829 PG. 482  
 SPEED LIMIT: 35MPH



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 LANDSCAPE ARCHITECTURE  
 SUSTAINABLE DESIGN  
 PERMITTING SERVICES  
 TRANSPORTATION SERVICES

**REVISIONS**

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2	06/19/23	REV PER CLIENT COMMENT	MR	AW

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PROJECT: **PROP. PRELIMINARY ENGINEERING PLANS FOR**



251 FRONT ROYAL PIKE  
 WINCHESTER, VA 22602  
 FREDERICK COUNTY  
 SHAWNEE MAGISTERIAL DISTRICT  
 TM: 64 08 0001

**BOHLER**  
 12825 WORLDGATE DR. SUITE 700  
 HERNDON, VIRGINIA 20170  
 Phone: (703) 709-9500  
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SHEET TITLE:  
**OVERALL LANDSCAPE PLAN**

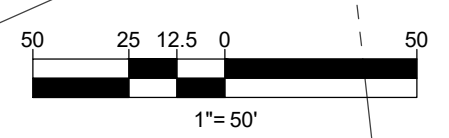
SHEET NUMBER:  
**17**

REVISION 2 - 06/19/23

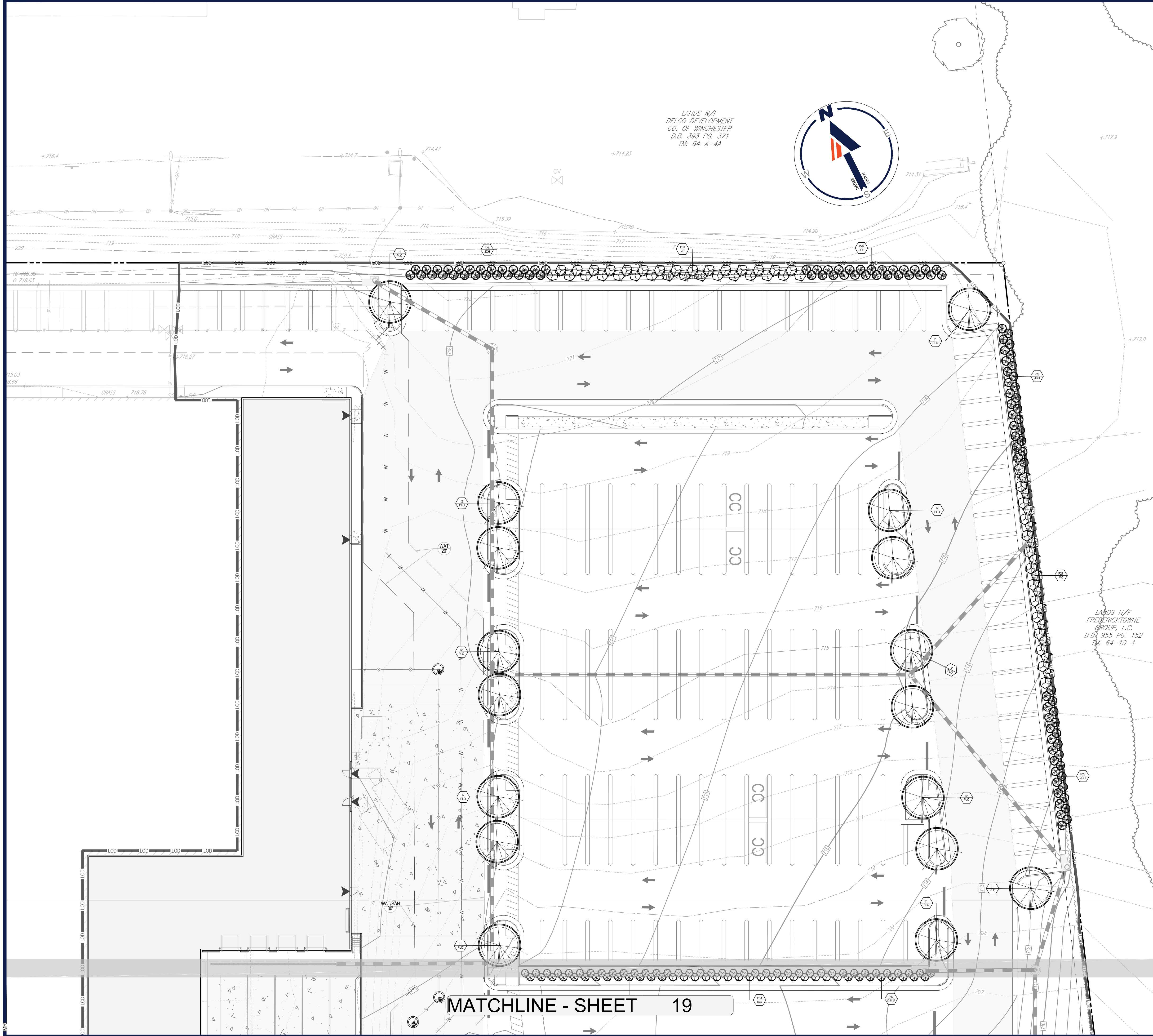
**LANDSCAPE SCHEDULE**

KEY	QTY.	BOTANICAL NAME	COMMON NAME	CAL.	CONT.
<b>SHADE TREES</b>					
PLO	20	PLATANUS OCCIDENTALS	AMERICAN SYCAMORE	2' CAL. 18-17'	8-B
QPH	34	QUERCUS PHELLOS	WILLOW OAK	2' CAL. 18-17'	8-B
SUBTOTAL	54				
<b>EVERGREEN SHRUBS</b>					
K2UR	44	ILEX CORNUTA BURFORDII	BURFORD HOLLY	18-24"	#3 CAN
ICC	31	ILEX CRENATA COMPACTA	COMPACT JAPANESE HOLLY	18-24"	#3 CAN
IGC	29	ILEX GLABRA COMPACTA	DIARR PINEBERRY HOLLY	18-24"	#3 CAN
JCH	154	JUNIPERUS CHINENSIS HETZLII	HETZ JAMBER	18-24"	#3 CAN
VR	58	VIBURNUM X RHYTHOPHYLLUM	LEATHERLEAF VIBURNUM	18-24"	#3 CAN
SUBTOTAL	256				

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN THE AMOUNTS SHOWN IN THE PLAN AND THE PLANT LIST, THE PLAN WILL DICTATE.



JUN 30, 2023  
 BOHLER ENGINEERING PROJECTS 2022EN-AJ20135.00 CAD DRAWINGS PLAN SET GREEN INK PLAN A-JAYOUT: 17 - OVERALL LANDSCAPE PLAN



LANDSCAPE SCHEDULE					
KEY	QTY.	BOTANICAL NAME	COMMON NAME	CAL.	CONT.
SHADE TREES					
PLO	20	PLATANUS OCCIDENTALIS	AMERICAN Sycamore	2" CAL. / 8-10'	8-B
QPH	34	QUERCUS PHELLOS	WILLOW OAK	2" CAL. / 8-10'	8-B
SUBTOTAL	54				
EVERGREEN SHRUBS					
ESUR	44	ILEX CORNUTA BURFORDI	BURFORD HOLLY	18"-24"	#1 CAN
ICC	31	ILEX CREMATA COMPACTA	COMPACT JAPANESE HOLLY	18"-24"	#1 CAN
IGC	29	ILEX GLABRA COMPACTA	DMARR EWINGBERRY HOLLY	18"-24"	#1 CAN
JCH	104	JUNIPERUS CHINENSIS 'HETZT'	HETZ JUNIPER	18"-24"	#1 CAN
VR	58	VIBURNUM X HYRTIDIFOLIUM	LEATHERLEAF VIBURNUM	18"-24"	#1 CAN
SUBTOTAL	266				

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN THE AMOUNTS SHOWN IN THE PLAN AND THE PLANT LIST, THE PLAN WILL DICATE.

**LANDSCAPE NOTES**

- PLANTING PROCEDURE: ALL REQUIRED TREES AND SHRUBS SHALL MEET THE SPECIFICATIONS AND PROCEDURES ESTABLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
  - ALL TREES SHALL BE PLANTED NO CLOSER THAN THREE FEET TO THE EDGE OF SIDEWALKS, CURB OR OTHER PAVEMENT.
  - DECIDUOUS TREES SHALL BE A MINIMUM OF TWO INCH CALIPER AT THE TIME OF PLANNING.
  - ONLY SINGLE STEM TREES SHALL BE PLANTED AS STREET TREES.
  - EVERGREEN TREES SHALL BE A MINIMUM OF FOUR FEET IN HEIGHT AT THE TIME OF PLANTING. SHRUBS SHALL BE A MINIMUM THREE GALLON CONTAINER AT THE TIME OF PLANTING. IN ADDITION TO THE THREE GALLON CONTAINER REQUIREMENT, PARKING LOT SCREENING SHRUBS SHALL BE A MINIMUM OF 36" IN HEIGHT AT TIME OF PLANTING AND BUFFER SHRUBS SHALL BE A MINIMUM OF 18" IN HEIGHT AT TIME OF PLANTING. SPACING OF PARKING LOT SCREENING SHRUBS SHALL BE NO GREATER THAN FOUR (4) FEET ON CENTER.
  - ONLY TREES HAVING A MATURE HEIGHT OF LESS THAN 20 FEET SHALL BE LOCATED UNDER OVERHEAD UTILITY LINES.
  - MEASUREMENT OF SIZE: CALIPER IS MEASURED SIX (6) INCHES ABOVE THE GROUND UP TO AND INCLUDING FOUR (4) INCH CALIPER SIZE. AND TWELVE (12) INCHES ABOVE THE GROUND FOR LARGER SIZES. DIAMETER AT BREAST HEIGHT (DBH) WILL BE MEASURED AT THE HEIGHT OF 54 INCHES FROM THE BASE OF THE TRUNK OR AS OTHERWISE ALLOWED IN THE GUIDE FOR PLANT APPRAISAL.
- MAINTENANCE: THE OWNER, DEVELOPER, AND/OR BUILDER WHO IS RESPONSIBLE FOR PLANTING REQUIRED LANDSCAPING SHALL BE RESPONSIBLE FOR MAINTAINING IT IN A STATE OF GOOD HEALTH FOR ONE YEAR AFTER PLANTING. AFTER ONE YEAR, FROM THE DATE OCCUPANCY IS APPROVED, THE INDIVIDUAL PROPERTY OWNER AND/OR HOMEOWNERS ASSOCIATION SHALL BECOME RESPONSIBLE FOR MAINTENANCE. AS LONG AS THE INTENT OF THIS SECTION IS MET, THE ZONING ADMINISTRATOR MAY WAIVE THE REQUIREMENT FOR LANDSCAPING ON INDIVIDUAL BUILDING LOTS IF A HAZARD OR NUISANCE EXISTS.
- NO TREES OR SHRUBS SHALL BE PLACED IN FC5A EASEMENT.
- ALL PLANTINGS WILL CONFORM TO THE ZONING ORDINANCE §165-203.02.

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REVISIONS				
REV	DATE	COMMENT	REV PER CLIENT	DRAWN BY
1	05/22/23		MR	AW
2	06/19/23		MR	AW

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PROJECT No.:	NJ220135.00
DRAWN BY:	MR
CHECKED BY:	AW
DATE:	03/27/23
CAD ID:	LSCP-2

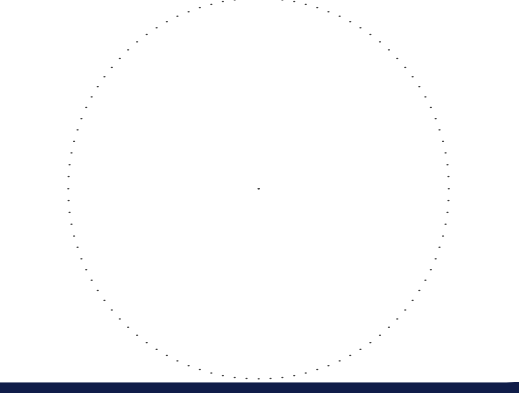
PROJECT: **PROP. PRELIMINARY ENGINEERING PLANS FOR**

**COSTCO WHOLESALE**

251 FRONT ROYAL PIKE  
 WINCHESTER, VA 22602  
 FREDERICK COUNTY  
 SHAWNEE MAGISTERIAL DISTRICT  
 TM: 64 08 0001

**BOHLER**

12825 WORLDGATE DR. SUITE 700  
 HERNDON, VIRGINIA 20170  
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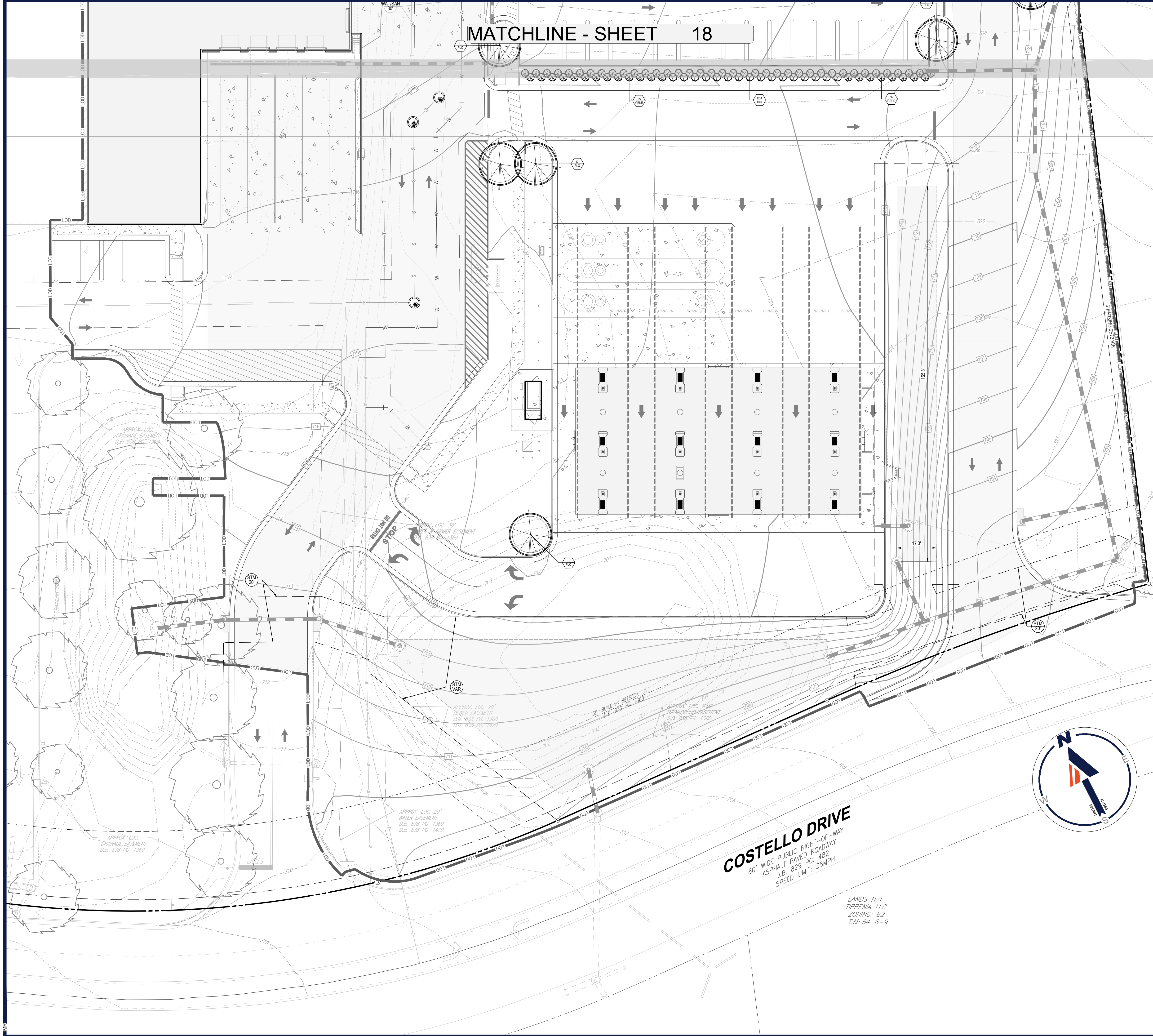


SHEET TITLE: **LANDSCAPE PLAN**

SHEET NUMBER: **18**

REVISION 2 - 06/19/23

JUN 30, 2023 10:08 AM BOHLER ENG NETS\SHARES\PROJECTS\2023\NJ220135.00\CADD\DRAWINGS\PLAN SET\GREEN\INK PL\ANY\JUN20135.00.LSCP-2...JAYOUT: 18 - LANDSCAPE PLAN



LANDSCAPE SCHEDULE					
KEY	QTY.	BOTANICAL NAME	COMMON NAME	CAL.	CONT.
<b>SHADE TREES</b>					
PL0	20	PLATANUS OCCIDENTALIS	AMERICAN Sycamore	2" CAL. 1/4" 0	8-8
QH	34	QUERCUS PHELLOS	WILLOW OAK	2" CAL. 1/4" 0	8-8
<b>SUBTOTAL</b>					
<b>EVERGREEN SHRUBS</b>					
ESUR	44	ILEX CORNUTA BURFORDI	BURFORD HOLLY	18"-24"	#1 CAN
ICC	31	ILEX CREMATA COMPACTA	COMPACT JAPANESE HOLLY	18"-24"	#1 CAN
IGC	29	ILEX GLABRA COMPACTA	DWARF ENGLISH HOLLY	18"-24"	#1 CAN
JCH	104	JUNIPERUS CHINENSIS 'HETZT'	HETZ JUNIPER	18"-24"	#1 CAN
VR	58	VIBURNUM X RHYTHYDOPHYLLUM	LEATHERLEAF VIBURNUM	18"-24"	#1 CAN
<b>SUBTOTAL</b>					

**LANDSCAPE NOTES**

- PLANTING PROCEDURE: ALL REQUIRED TREES AND SHRUBS SHALL MEET THE SPECIFICATIONS AND PROCEDURES ESTABLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
  - ALL TREES SHALL BE PLANTED NO CLOSER THAN THREE FEET TO THE EDGE OF SIDEWALKS, CURB OR OTHER PAVEMENT.
  - DECIDUOUS TREES SHALL BE A MINIMUM OF TWO INCH CALIPER AT THE TIME OF PLANNING.
  - ONLY SINGLE STEM TREES SHALL BE PLANTED AS STREET TREES.
  - EVERGREEN TREES SHALL BE A MINIMUM OF FOUR FEET IN HEIGHT AT THE TIME OF PLANTING. SHRUBS SHALL BE A MINIMUM THREE GALLON CONTAINER AT THE TIME OF PLANTING. IN ADDITION TO THE THREE GALLON CONTAINER REQUIREMENT, PARKING LOT SCREENING SHRUBS SHALL BE A MINIMUM OF 36" IN HEIGHT AT TIME OF PLANTING AND BUFFER SHRUBS SHALL BE A MINIMUM OF 18" IN HEIGHT AT TIME OF PLANTING. SPACING OF PARKING LOT SCREENING SHRUBS SHALL BE NO GREATER THAN FOUR (4) FEET ON CENTER.
  - ONLY TREES HAVING A MATURE HEIGHT OF LESS THAN 20 FEET SHALL BE LOCATED UNDER OVERHEAD UTILITY LINES.
  - MEASUREMENT OF SIZE, CALIPER IS MEASURED SIX (6) INCHES ABOVE THE GROUND UP TO AND INCLUDING FOUR (4) INCH CALIPER SIZE, AND TWELVE (12) INCHES ABOVE THE GROUND FOR LARGER SIZES. DIAMETER AT BREAST HEIGHT (DBH) WILL BE MEASURED AT THE HEIGHT OF 54 INCHES FROM THE BASE OF THE TRUNK OR AS OTHERWISE ALLOWED IN THE GUIDE FOR PLANT APPRAISAL.
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  - NO TREES OR SHRUBS SHALL BE PLACED IN FC5A EASEMENT.
  - ALL PLANTINGS WILL CONFORM TO THE ZONING ORDINANCE §165-203.02.

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SUSTAINABLE DESIGN  
PERMITTING SERVICES  
TRANSPORTATION SERVICES

REVISIONS				
REV	DATE	COMMENT	BY	CHECKED BY
1	05/22/23	REV PER CLIENT COMMENT	MR	AW
2	06/19/23	REV PER CLIENT COMMENT	MR	AW

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PROJECT No.:	NJAZ20135.00
DRAWN BY:	MR
CHECKED BY:	AW
DATE:	03/27/23
CAD ID:	LSCP-2

PROJECT: **PROP. PRELIMINARY ENGINEERING PLANS FOR**

251 FRONT ROYAL PIKE  
WINCHESTER, VA 22602  
FREDERICK COUNTY  
SHAWNEE MAGISTERIAL DISTRICT  
TM: 64 08 001

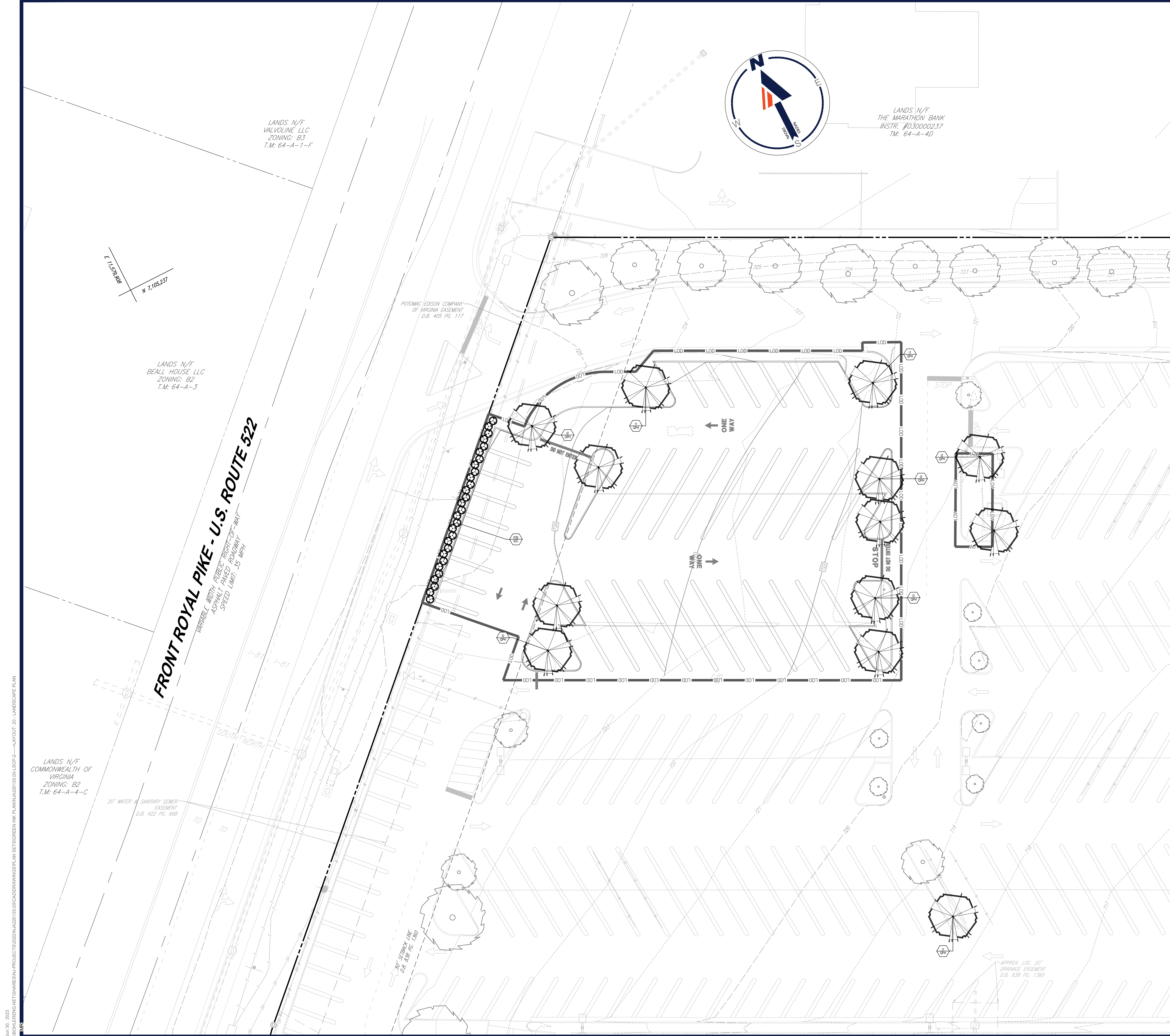
**BOHLER**  
12825 WORLDGATE DR. SUITE 700  
HERNDON, VIRGINIA 20170  
Phone: (703) 709-9500  
Fax: (703) 709-9501  
VA@BohlerEng.com

SHEET TITLE: **LANDSCAPE PLAN**

SHEET NUMBER: **19**

REVISION 2 - 06/19/23

JUN 30, 2023 10:08:00 AM C:\DRAWINGS\PROJECTS\2023\NJAZ20135.00\CADD\DRAWINGS\PLAN SET\GREEN\IN PLAN\NJAZ20135.00.LSCP-2.dwg - LAYOUT: 19 - LANDSCAPE PLAN



LANDSCAPE SCHEDULE					
KEY	QTY.	BOTANICAL NAME	COMMON NAME	CAL.	CONT.
<b>SHADE TREES</b>					
PLO	20	PLATANUS OCCIDENTALIS	AMERICAN Sycamore	2" CAL. 1-8/10	B+B
QPH	34	QUERCUS PHELLOS	WILLOW OAK	2" CAL. 1-8/10	B+B
SUBTOTAL	54				
<b>EVERGREEN SHRUBS</b>					
ECC	44	ILEX CORNUTA BURFORDI	BURFORD HOLLY	18"-24"	#1 CAN
ECC	31	ILEX CREMATA COMPACTA	COMPACT JAPANESE HOLLY	18"-24"	#1 CAN
IGC	29	ILEX GLABRA COMPACTA	DWARF ENGLISH HOLLY	18"-24"	#1 CAN
JCH	104	JUNIPERUS CHINENSIS 'HETZL'	HETZ JUMPER	18"-24"	#1 CAN
VR	58	VIBURNUM X RHYTHYDOPHYLLUM	LEATHERLEAF VIBURNUM	18"-24"	#1 CAN
SUBTOTAL	266				

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN THE AMOUNTS SHOWN IN THE PLAN AND THE PLANT LIST, THE PLAN WILL DICATE.

**LANDSCAPE NOTES**

- PLANTING PROCEDURE: ALL REQUIRED TREES AND SHRUBS SHALL MEET THE SPECIFICATIONS AND PROCEDURES ESTABLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
  - ALL TREES SHALL BE PLANTED NO CLOSER THAN THREE FEET TO THE EDGE OF SIDEWALKS, CURB OR OTHER PAVEMENT.
  - DECIDUOUS TREES SHALL BE A MINIMUM OF TWO INCH CALIPER AT THE TIME OF PLANNING.
  - ONLY SINGLE STEM TREES SHALL BE PLANTED AS STREET TREES.
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  - ONLY TREES HAVING A MATURE HEIGHT OF LESS THAN 20 FEET SHALL BE LOCATED UNDER OVERHEAD UTILITY LINES.
  - MEASUREMENT OF SIZE: CALIPER IS MEASURED SIX (6) INCHES ABOVE THE GROUND UP TO AND INCLUDING FOUR (4) INCH CALIPER SIZE. AND TWELVE (12) INCHES ABOVE THE GROUND FOR LARGER SIZES. DIAMETER AT BREAST HEIGHT (DBH) WILL BE MEASURED AT THE HEIGHT OF 54 INCHES FROM THE BASE OF THE TRUNK OR AS OTHERWISE ALLOWED IN THE GUIDE FOR PLANT APPRAISAL.
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- ALL PLANTINGS WILL CONFORM TO THE ZONING ORDINANCE §165-203.02.

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REVISIONS				
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1	05/22/23		MR	AW
2	06/19/23		MR	AW

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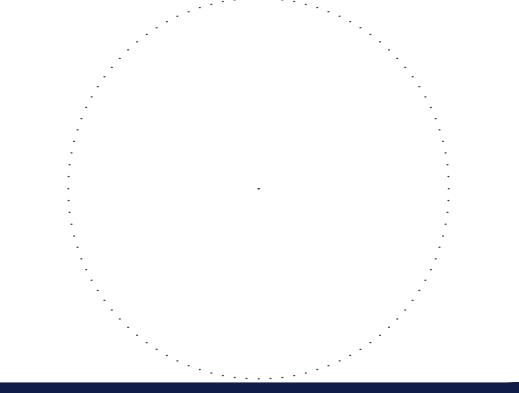
PROJECT No.: NJA220135.00  
 DRAWN BY: MR  
 CHECKED BY: AW  
 DATE: 03/27/23  
 CAD ID.: LSCP-2

PROJECT: **PROP. PRELIMINARY ENGINEERING PLANS FOR**



251 FRONT ROYAL PIKE  
 WINCHESTER, VA 22602  
 FREDERICK COUNTY  
 SHAWNEE MAGISTERIAL DISTRICT  
 T.M. 64 08 0001

**BOHLER**  
 12825 WORLDGATE DR. SUITE 700  
 HERNDON, VIRGINIA 20170  
 Phone: (703) 709-9500  
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 VA@BohlerEng.com



SHEET TITLE: **LANDSCAPE PLAN**

SHEET NUMBER: **20**

REVISION 2 - 06/19/23

JUN 30, 2023  
 BOHLER ENGINEERING PROJECTS 2022\2023\JUN 30 135.00\CAD\DRAWINGS\PLAN SET\GREEN\IN\PLAN\JUN 30 135.00\LSCP-2-00-JAVOUT-20-LANDSCAPE PLAN

LANDSCAPE SCHEDULE					
KEY	QTY.	BOTANICAL NAME	COMMON NAME	CAL.	CONT.
SHADE TREES					
FLO	20	PLATANUS OCCIDENTALIS	AMERICAN SYCAMORE	2" CAL. 18-17	8-8
OPH	34	QUERCUS PHELLOS	WILLOW OAK	2" CAL. 18-17	8-8
SUBTOTAL: 54					
EVERGREEN SHRUBS					
ICBLR	44	LEX CORNUTA BURFORDII	BURFORD HOLLY	18"-24"	#1 CAN
ICC	31	LEX ORENATA COMPACTA	COMPACT JAPANESE HOLLY	18"-24"	#1 CAN
IGC	29	LEX GLABRA COMPACTA	DWARF INBERRY HOLLY	18"-24"	#1 CAN
JCH	104	JUNIPERUS CHINENSIS 'HETZU'	HETZ JUNIPER	18"-24"	#1 CAN
VR	58	VEURUM X RHODOPHYLLUM	LEATHERLEAF VIBURNUM	18"-24"	#1 CAN
SUBTOTAL: 266					

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN THE AMOUNTS SHOWN IN THE PLAN AND THE PLANT LIST, THE PLAN WILL OBTAIN.

PERIMETER LANDSCAPING SECTION 165-202.01.D.13				
IMPERVIOUS AREA		622,751 SF		
DESCRIPTION	REQUIRED	EXISTING	PROPOSED	TOTAL
TREES (1/2,000 SF X 100,000 SF)	50			
TREES (1/5,000 SF 622,751 SF)	105	195	0	195
TOTAL	155	195	0	195

A CONTINUOUS ROW OF 3" TALL EVERGREEN SHRUBS HAVE BEEN PROVIDED IN FRONT OF ALL PARKING BAYS.  
\*P SYMBOLS INDICATE SPECIES USED TO FULFIL THIS REQUIREMENT

EXISTING TREE PERIMETER LANDSCAPING SECTION 165-203.01.C			
620,092 SF			
CALIPER (IN)	QUANTITY	TREE CREDIT	TOTAL CREDIT
4" TO 6"	1	1	1
7" TO 12"	8	2	16
13" TO 18"	36	3	81
19" TO 29"	23	4	92
OVER 30"	1	5	5
TOTAL	60	NA	195

\*P SYMBOLS INDICATE SPECIES USED TO FULFIL THIS REQUIREMENT

INTERIOR LANDSCAPING SECTION 165-202.01.D.13.b.				
PARKING AREA		445,714 SF		
PLANTING AREA RATIO	5%			
PARKING SPACES	765 SPACES			
DESCRIPTION	REQUIRED	EXISTING	PROPOSED	TOTAL
PLANTING AREA (445,714 SF X 5%)	22,286 SF	NA		22,569 SF (5.06%)
TREES (1/10 X 765)	77 TREES	80	54	134

\*P SYMBOLS INDICATE SPECIES USED TO FULFIL THIS REQUIREMENT

EXISTING TREE INTERIOR LANDSCAPING SECTION 165-203.01.C			
620,092 SF			
CALIPER (IN)	QUANTITY	TREE CREDIT	TOTAL CREDIT
4" TO 6"	9	1	9
7" TO 12"	7	2	14
13" TO 18"	11	3	33
19" TO 29"	6	4	24
OVER 30"	0	5	0
TOTAL	33	NA	80

\*P SYMBOLS INDICATE SPECIES USED TO FULFIL THIS REQUIREMENT

**BOHLER**™  
SITE CIVIL AND CONSULTING ENGINEERING  
PROGRAM MANAGEMENT  
LANDSCAPE ARCHITECTURE  
SUSTAINABLE DESIGN  
PERMITTING SERVICES  
TRANSPORTATION SERVICES

REVISIONS				
REV	DATE	COMMENT	CHECKED BY	DRAWN BY
1	05/22/23	REV PER CLIENT COMMENT		MR
2	06/19/23	REV PER CLIENT COMMENT		MR

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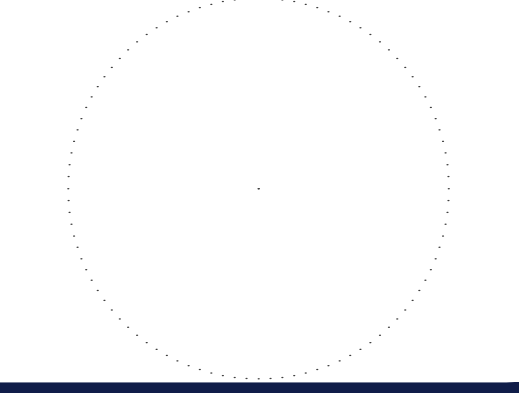
PROJECT No.: NJA220135.00  
DRAWN BY: MR  
CHECKED BY: AW  
DATE: 03/27/23  
CAD ID: LSCP-2

PROJECT: **PROP. PRELIMINARY ENGINEERING PLANS FOR**

**COSTCO WHOLESALE**

251 FRONT ROYAL PIKE  
WINCHESTER, VA 22602  
FREDERICK COUNTY  
SHAWNEE MAGISTERIAL DISTRICT  
TM: 64 08 0001

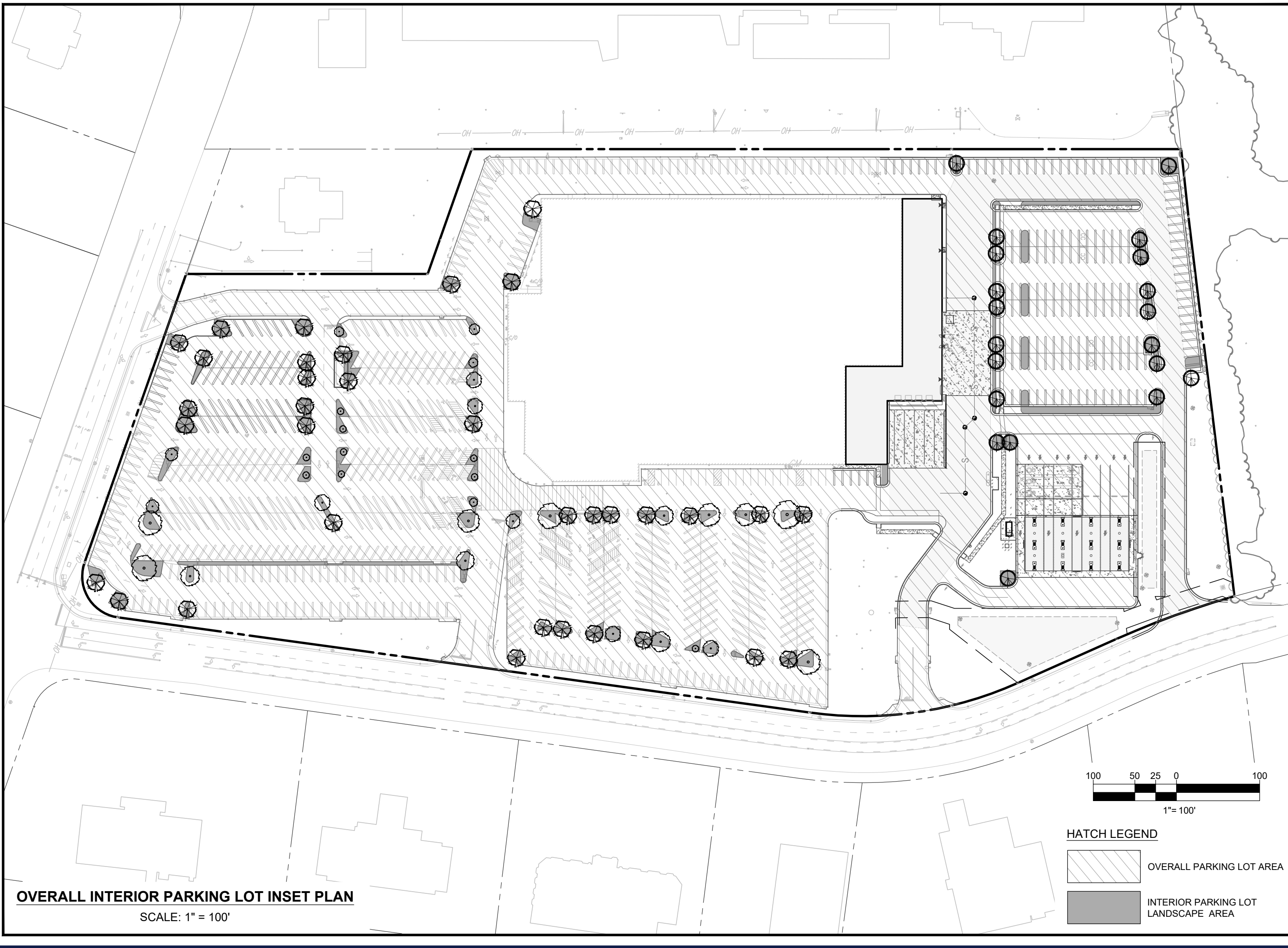
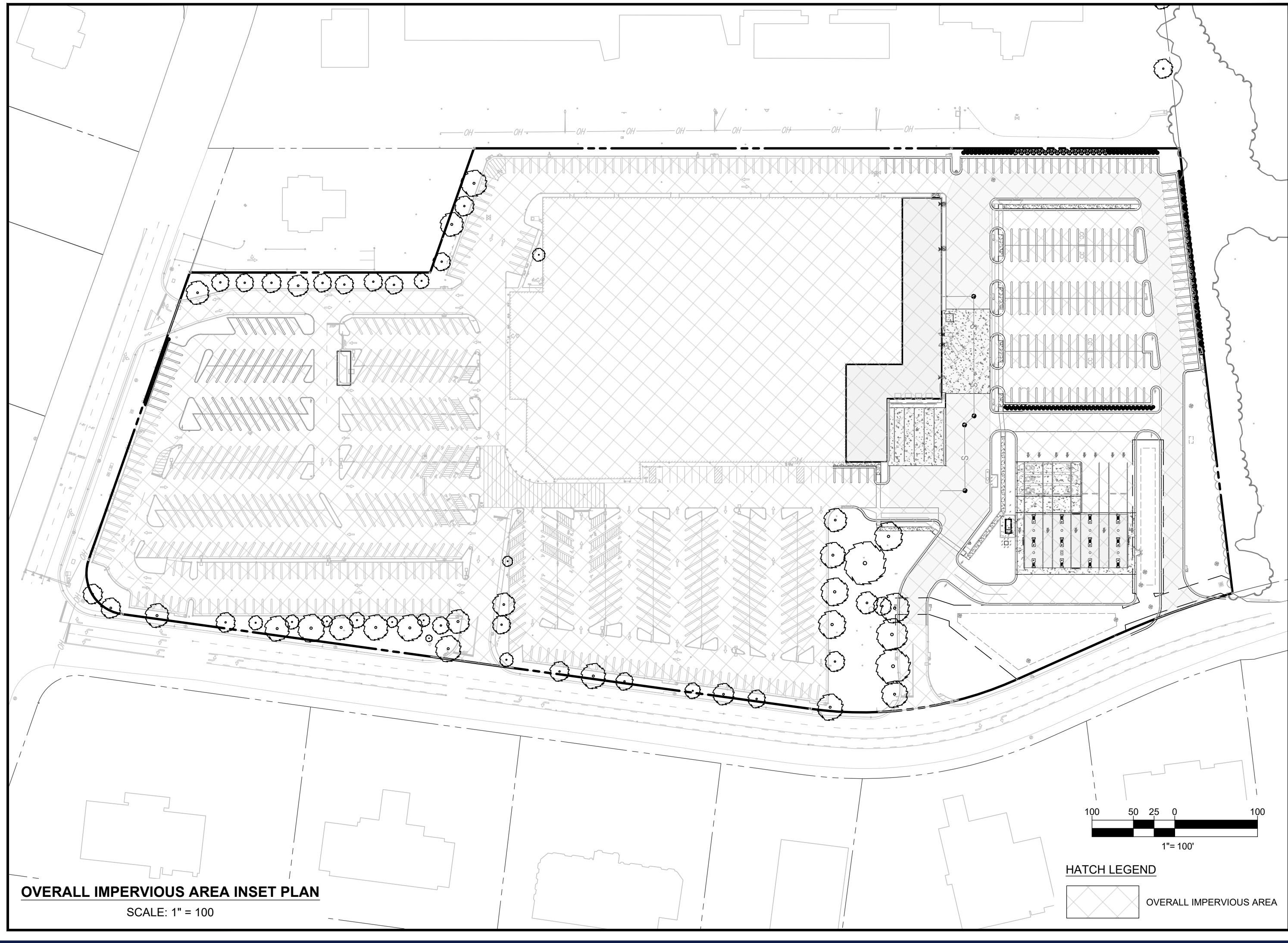
**BOHLER** //  
12825 WORLDGATE DR. SUITE 700  
HERNDON, VIRGINIA 20170  
Phone: (703) 709-9500  
Fax: (703) 709-9501  
VA@BohlerEng.com



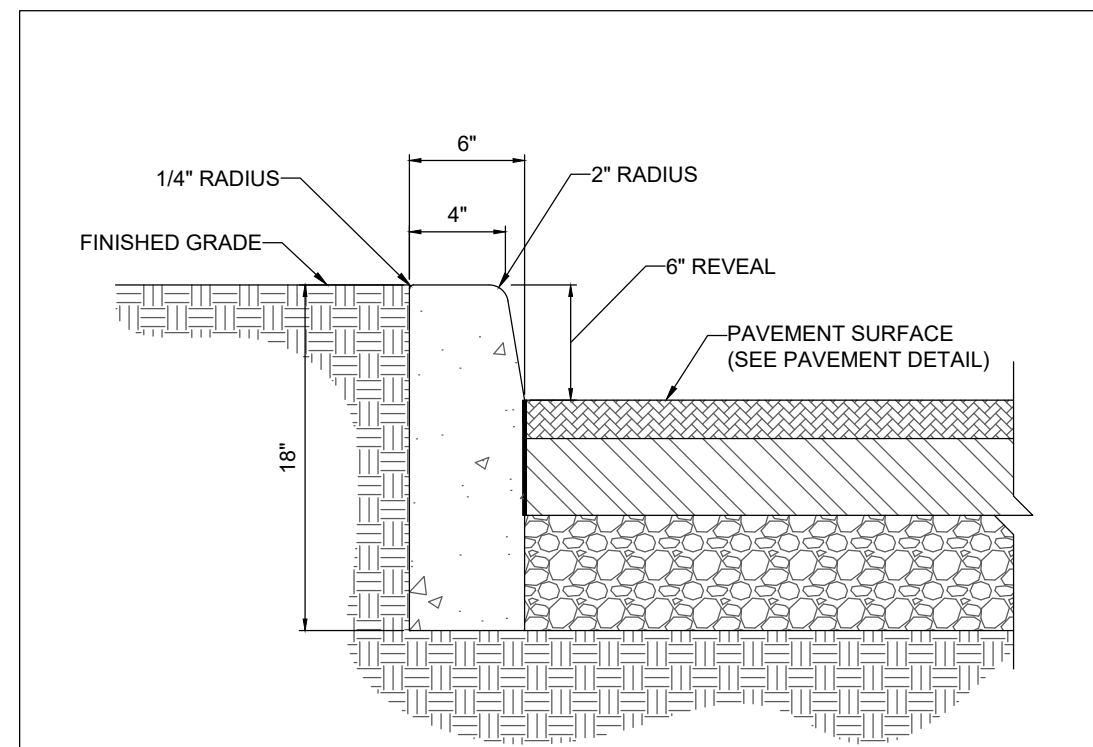
SHEET TITLE: **LANDSCAPE COMPLIANCE**

SHEET NUMBER: **21**

REVISION 2 - 06/19/23

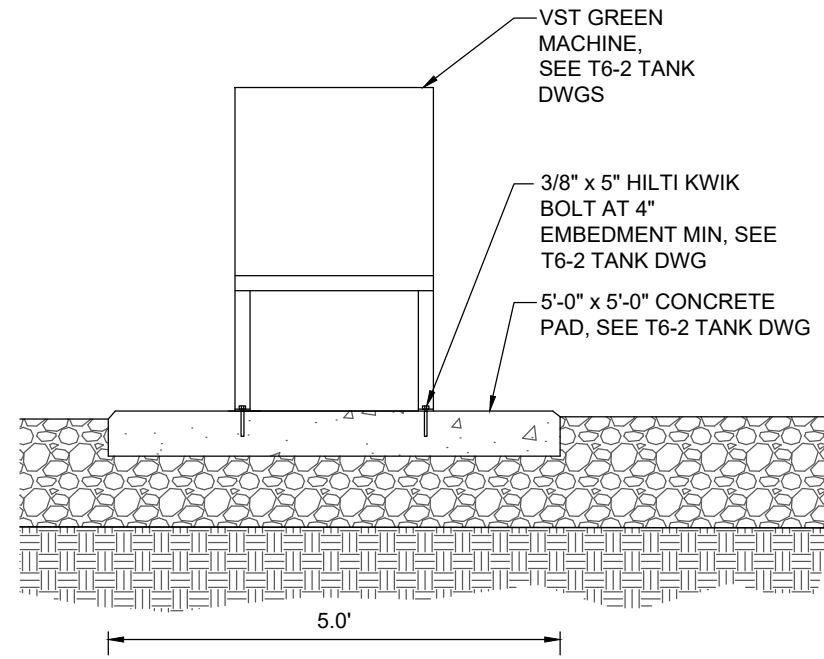


JUN 30, 2023 10:08:00 AM C:\PROJECTS\2023\220135\00\CADD\DRAWINGS\PLAN SET\FIGURE 21 - LANDSCAPE COMPLIANCE.dwg

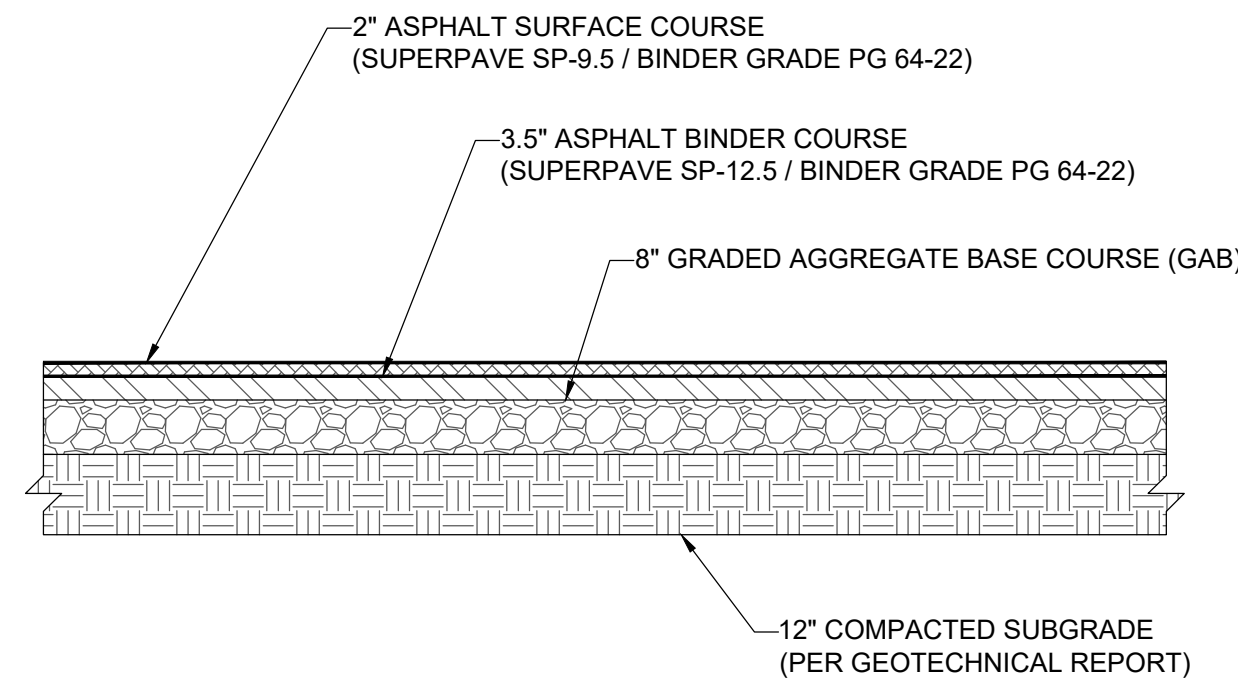


- NOTES:**
1. EXPANSION JOINTS TO BE INSTALLED AT 20' INTERVALS.
  2. THIS ITEM MAY BE PRECAST OR CAST IN PLACE.
  3. CONCRETE TO BE CLASS A3 IF CAST IN PLACE OR 4000 P.S.I. IF PRECAST.

**HEADER CURB DETAIL**  
NOT TO SCALE

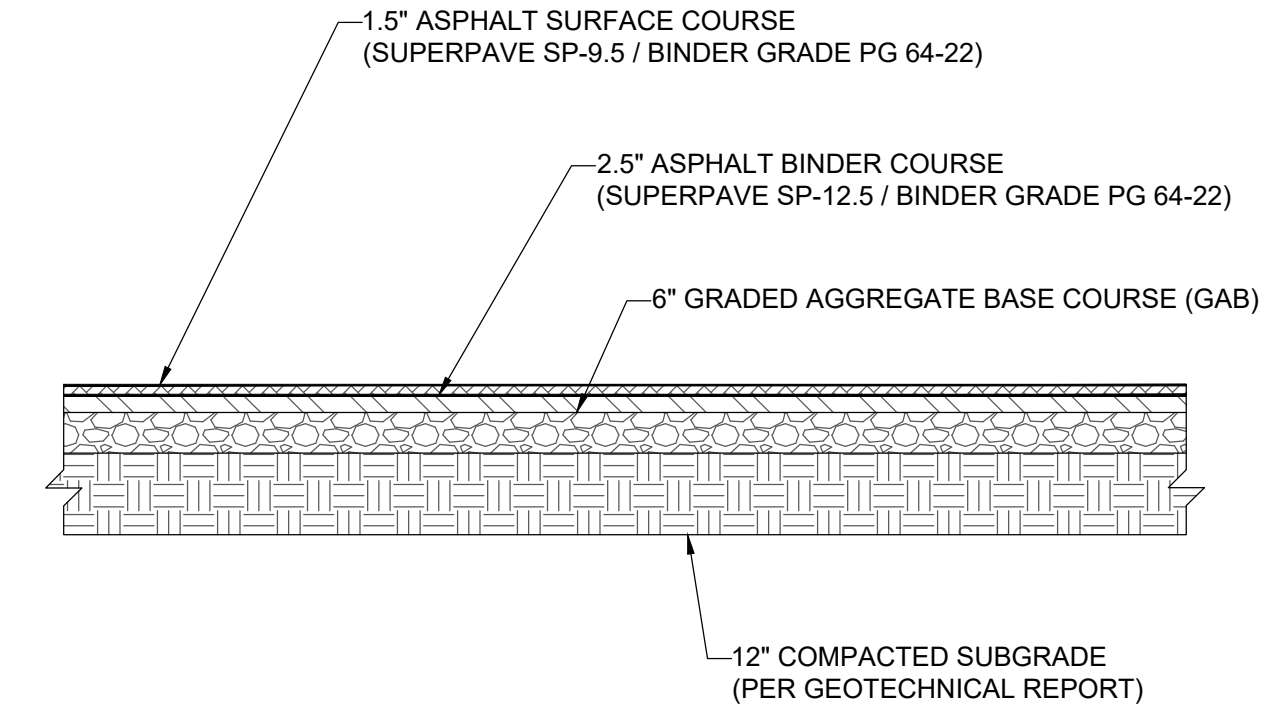


**VST GREEN MACHINE**  
NOT TO SCALE



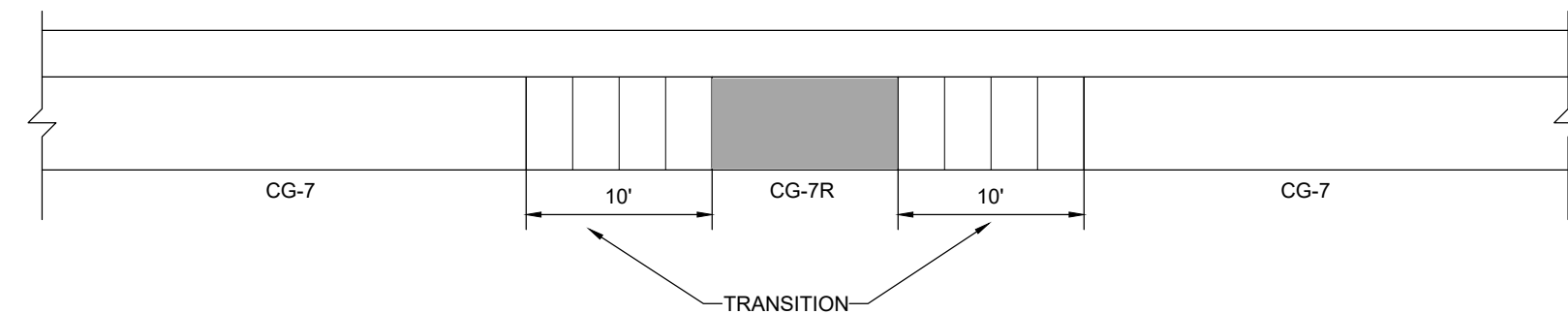
- NOTE:**
1. SECTION SHOWN IS BASED ON AN ASSUMED CBR OF 10. FINAL DESIGN TO BE PROVIDED ONCE FINAL CBR'S ARE AVAILABLE ON COMPACTED SUB-BASE.

**HEAVY DUTY ASPHALT PAVEMENT SECTION**  
NOT TO SCALE

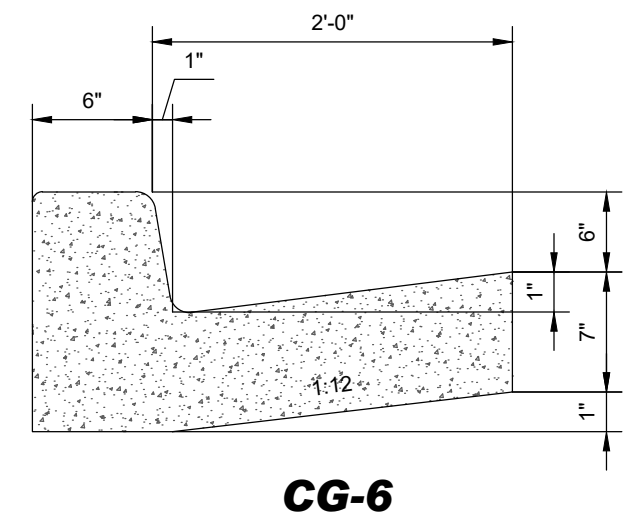


- NOTE:**
1. SECTION SHOWN IS BASED ON AN ASSUMED CBR OF 10. FINAL DESIGN TO BE PROVIDED ONCE FINAL CBR'S ARE AVAILABLE ON COMPACTED SUB-BASE.

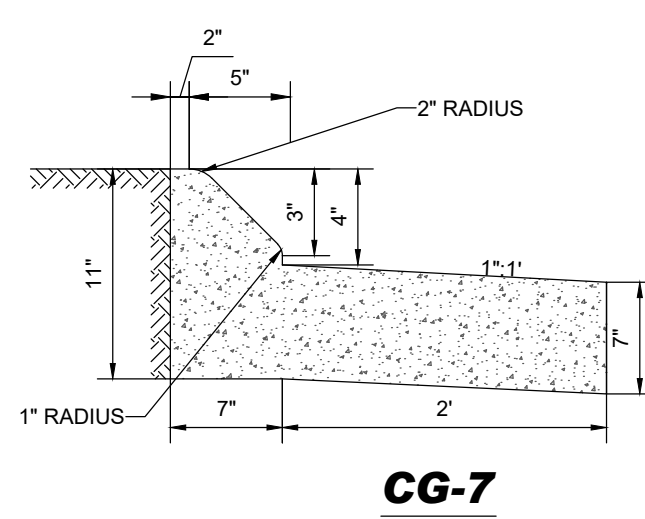
**STANDARD DUTY ASPHALT PAVEMENT SECTION**  
NOT TO SCALE



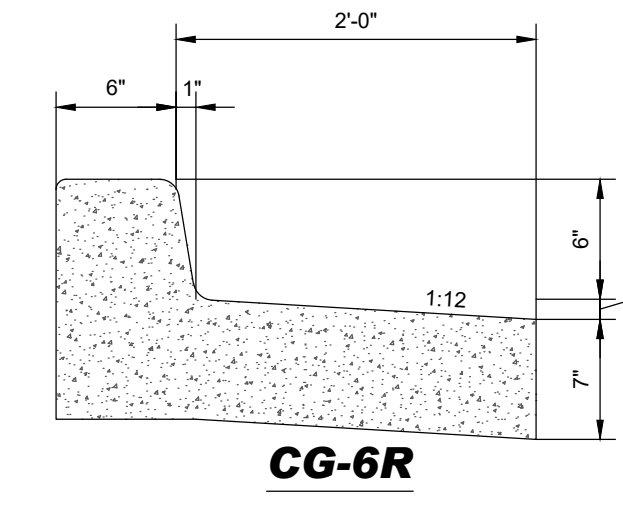
**CURB TRANSITION DETAIL**  
NOT TO SCALE



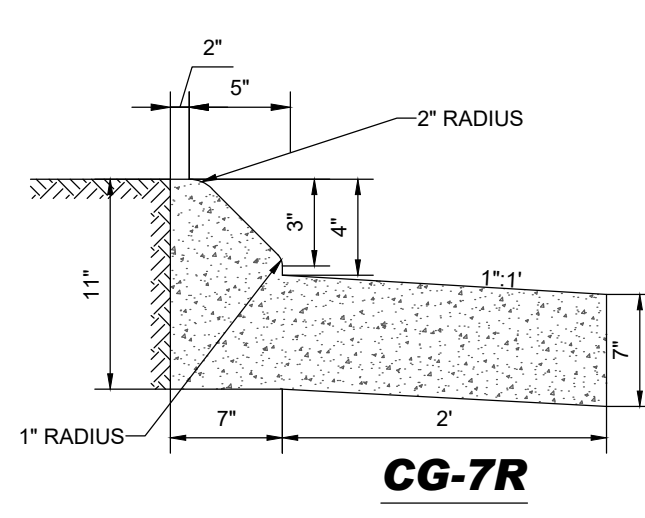
**CG-6**



**CG-7**



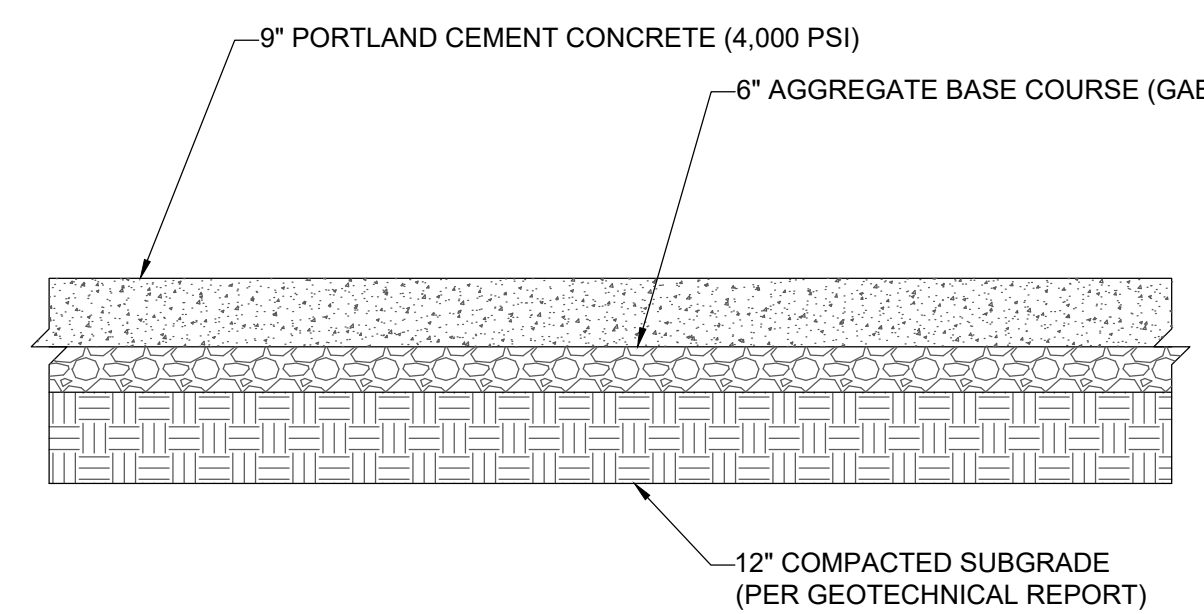
**CG-6R**



**CG-7R**

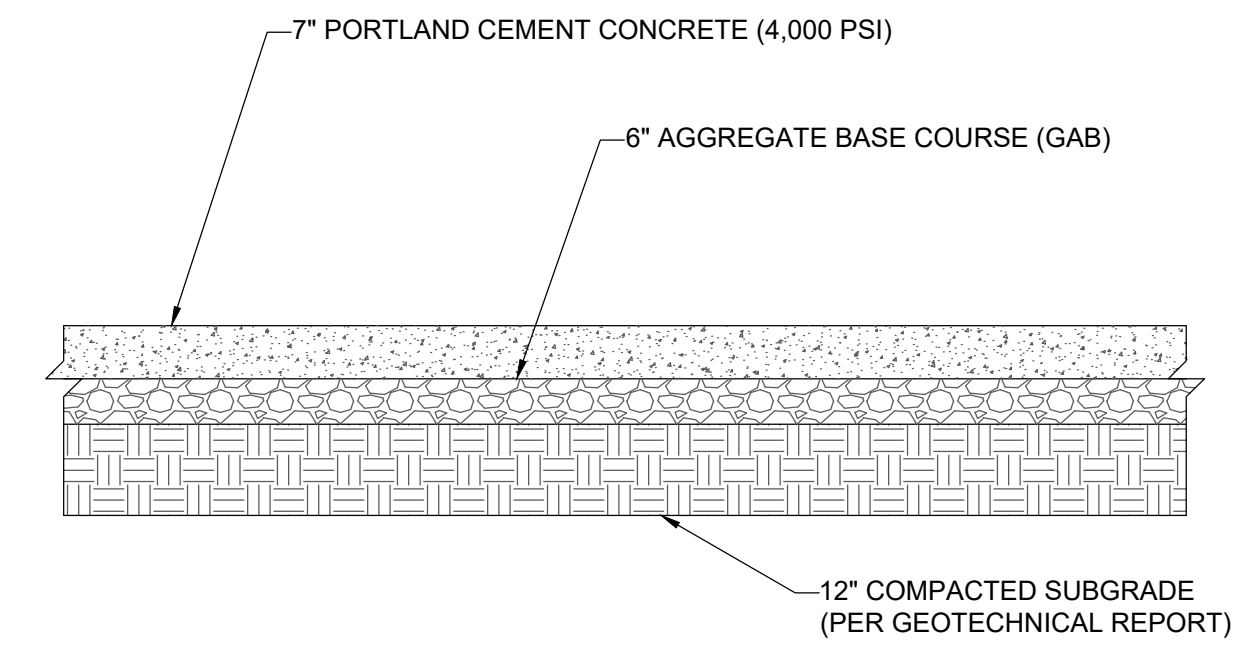
- NOTES:**
1. CONCRETE FOR CURBING SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,000 P.S.I. @ 28 DAYS.
  2. CONSTRUCTION STAKING FOR CURB INSTALLATION SHALL BE REFERENCED (CUT OR FILL) TO THE TOP OF CURB.
  3. AT CONTRACTOR'S OPTION, THE GUTTER THICKNESS MAY BE INCREASED AT THE EDGE OF PAVEMENT TO MAKE BOTTOM OF GUTTER CONTIGUOUS WITH BOTTOM OF ASPHALT PAVEMENT.
  4. CONTRACTION JOINTS SHALL BE PLACED @ 10'-0" O.C. TOOLED 1/4" (±1/16") WIDE, 1" DEEP. EXPANSION JOINTS SHALL BE PLACED @ 40'-0" INTERVALS, MAXIMUM, AND ALL P.C.'S.
  5. GUTTER PAN SLOPE TO BE ADJUSTED WITHIN ACCESSIBLE PARKING SPACES TO MATCH SLOPE BETWEEN SPOT ELEVATIONS.

**CONCRETE CURB & GUTTER DETAIL**  
NOT TO SCALE



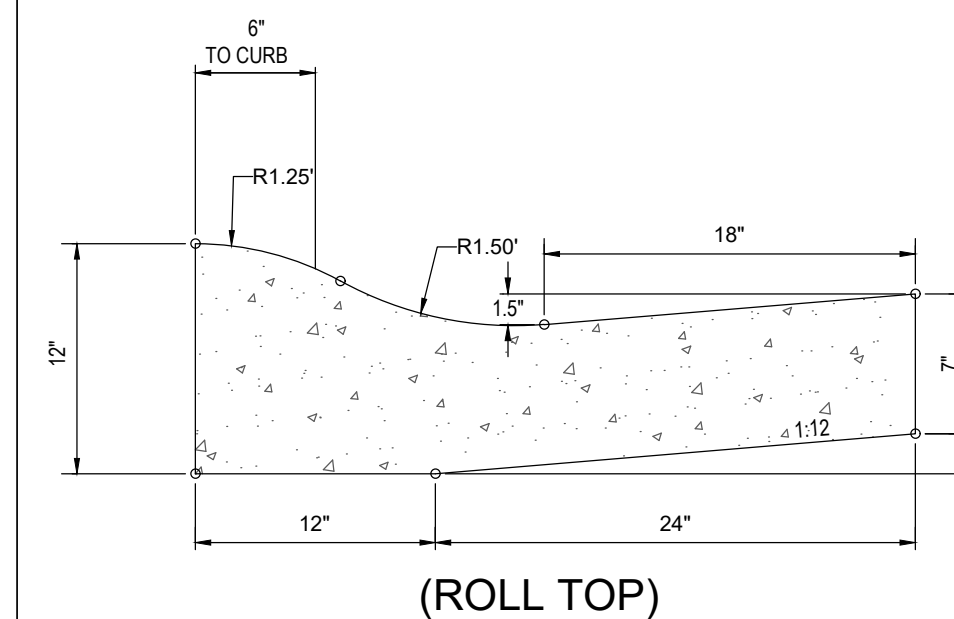
- NOTE:**
1. SECTION SHOWN IS BASED ON AN ASSUMED CBR OF 10. FINAL DESIGN TO BE PROVIDED ONCE FINAL CBR'S ARE AVAILABLE ON COMPACTED SUB-BASE.

**HEAVY DUTY CONCRETE SECTION**  
NOT TO SCALE



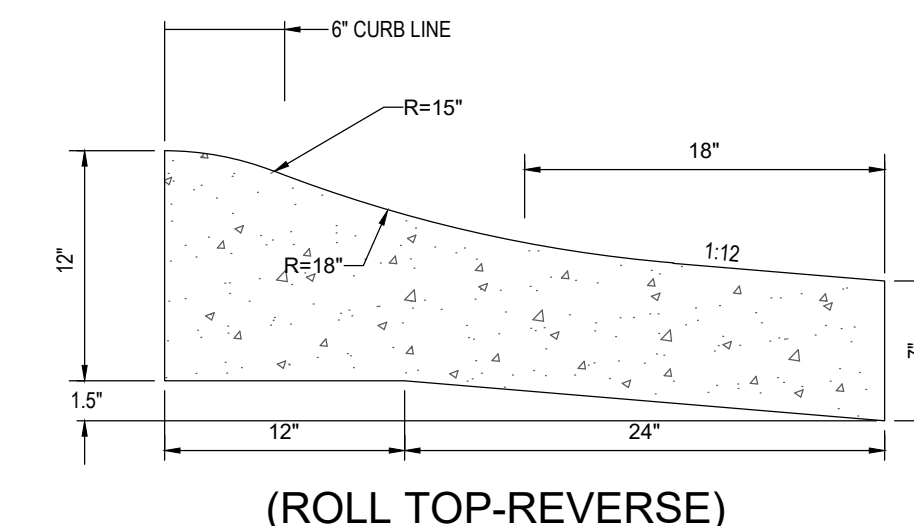
- NOTE:**
1. SECTION SHOWN IS BASED ON AN ASSUMED CBR OF 10. FINAL DESIGN TO BE PROVIDED ONCE FINAL CBR'S ARE AVAILABLE ON COMPACTED SUB-BASE.

**STANDARD DUTY CONCRETE SECTION**  
NOT TO SCALE



- NOTES:**
1. CONCRETE FOR CURBING SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,000 P.S.I. @ 28 DAYS.
  2. CONSTRUCTION STAKING FOR CURB INSTALLATION SHALL BE REFERENCED (CUT OR FILL) TO THE TOP OF CURB.
  3. AT CONTRACTOR'S OPTION, THE GUTTER THICKNESS MAY BE INCREASED AT THE EDGE OF PAVEMENT TO MAKE BOTTOM OF GUTTER CONTIGUOUS WITH BOTTOM OF ASPHALT PAVEMENT.
  4. CONTRACTION JOINTS SHALL BE PLACED @ 10'-0" O.C. TOOLED 1/4" (±1/16") WIDE, 1" DEEP. EXPANSION JOINTS SHALL BE PLACED @ 40'-0" INTERVALS, MAXIMUM, AND ALL P.C.'S.

**MOUNTABLE CURB & GUTTER DETAIL**  
NOT TO SCALE



**REVISIONS**

REV	DATE	COMMENT	CHECKED BY
1	05/22/23	REV PER CLIENT COMMENT	MR AW
2	06/19/23	REV PER CLIENT COMMENT	MR AW



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PROJECT No.:	NJ220135.00
DRAWN BY:	MR AW
CHECKED BY:	MR AW
DATE:	03/27/23
CAD ID:	CNDS-2

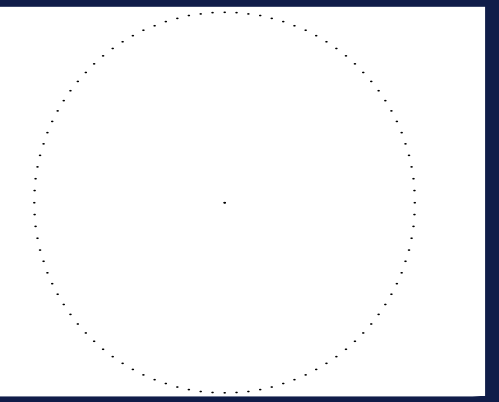
PROJECT: **PROP. PRELIMINARY ENGINEERING PLANS** FOR



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TM: 64 08 0001



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SHEET TITLE:

**SITE DETAILS**

SHEET NUMBER:

**22**

REVISION 2 - 06/19/23