

PROJECT ABBREVIATIONS			
AFF	ABOVE FINISHED FLOOR	FL	FLOOR
ACM	ALUMINUM COMPOSITE MATERIAL	FLR	FLOURESCENT FOOT OR FEET
ALUM	ALUMINUM	FTG	FOOTING
BLDG	BUILDING	GA	GAGE
BM	BEAM	GALV	GALVANIZED
C/C	CENTER TO CENTER	GC	GENERAL CONTRACTOR
CJ	CONTROL JOINT	GL	GLASS OR GLAZING
C	CENTER LINE	GYP BD	GYPNUM BOARD
CLG	CEILING	HC	HOLLOW CORE
CLR	CLEAR	HM	HOLLOW METAL
CMU	CONCRETE MASONRY UNIT	HORIZ	HORIZONTAL
COL	COLUMN	HT	HEIGHT
CONC	CONCRETE	HVAC	HEATING, VENTILATION, AIR CONDITIONING
CONT	CONTINUOUS	IN	INCH
CT	CERAMIC TILE	INFO	INFORMATION
DEMO	DEMOLITION	INSUL	INSULATION
DET	DETAIL	INT	INTERIOR
DIA	DIAMETER	JT	JOINT
DIM	DIMENSION	LAM	LAMINATE
DIV	DIVISION	MAS	MASONRY
DN	DOWN	MAX	MAXIMUM
DO	DITTO	MECH	MECHANICAL
DWG	DRAWING	MEZZ	MEZZANINE
EA	EACH	MFR	MANUFACTURER
EIFS	EXT. INSULATION AND FINISHING SYSTEM	MIN	MINIMUM
EJ	EXPANSION JOINT	MISC	MISCELLANEOUS
EL	ELEVATION	MO	MASONRY OPENING
ELEC	ELECTRICAL	MTL	METAL
ELEV	ELEVATOR	NIC	NOT IN CONTRACT
ENG	ENGINEER	NO	NUMBER
EQ	EQUAL	NTS	NOT TO SCALE
EXP	EXPANSION	OC	ON CENTER
EXT	EXTERIOR	OPNG	OPENING
FD	FLOOR DRAIN	PERF	PERFORATE
FDN	FOUNDATION	PERIM	PERIMETER
FE	FIRE EXTINGUISHER	PERP	PERPENDICULAR
FF	FINISHED FLOOR	PL	PLATE
FIN	FINISH OR FINISHED	P LAM	PLASTIC LAMINATE
		PLWD	PLYWOOD
		PSF	POUNDS PER SQ. FT.
		PST	POST
		QTY	QUANTITY
		R	RADIUS
		RD	ROOF DRAIN
		REFL	REFLECTED
		REIN	REINFORCEMENT
		REQ	REQUIRED
		RM	ROOM
		RO	ROUGH OPENING
		SCHED	SCHEDULE
		SCW	SOLID CORE WOOD
		SECT	SECTION
		SF	SQUARE FOOT/FEET
		SHT	SHEET
		SIM	SIMILAR
		SPECS	SPECIFICATION(S)
		SQ	SQUARE
		SS	STAINLESS STEEL
		STD	STANDARD
		STL	STEEL
		STOR	STORAGE
		STRUC	STRUCTURAL
		SY	SQUARE YARD(S)
		SYM	SYMMETRICAL
		TBD	TO BE DETERMINED
		T&B	TOP AND BOTTOM
		T&G	TONGUE AND GROOVE
		TEL	TELEPHONE
		TEMP	TEMPORARY
		THK	THICK
		THRU	THROUGH
		TYP	TYPICAL
		UNO	UNLESS NOTED OTHERWISE
		VB	VINYL BASE
		VCT	VINYL COMPOSITE TILE
		VERT	VERTICAL
		VIF	VERIFY IN FIELD
		W/	WIDTH
		WD	WOOD
		W/O	WINTOUT
		WWF	WELDED WIRE FABRIC

PROJECT ABBREVIATIONS			
SYMBOLS		MATERIALS	
	DETAIL NUMBER		CMU
	DRAWING LOCATION NUMBER		STEEL
	INDICATES ELEVATION (EXTERIOR/INTERIOR)		EARTH
	INDICATES BUILDING CROSS SECTION		INSULATION
	INDICATES WALL SECTION		GRAVEL
	ELEVATION		RIGID INSULATION
	WALL TYPE		WOOD VENEER
	COLUMN DESIGNATION		FINISHED STONE
	WINDOW TYPE		CONCRETE
	DOOR NUMBER		
	ROOM NUMBER		
	INDICATES RATED WALL ON FLOOR PLANS		



PROJECT DESCRIPTION & CODE ANALYSIS																																																																																																																																																												
<p>PROJECT DESCRIPTION: This project is an expansion of a two story automotive facility. The existing building contains a showroom and associated offices, with an existing service repair and parts storage department. The new building expansion consists of a small customer lounge, parts storage & service departments, which will be fully sprinklered. The EXISTING CLASSIFICATION AND USE of the building remains the same as a separated mix use facility.</p> <p>USE AND OCCUPANCY CLASSIFICATION: - SEPARATED MIX USE, IBC Section 302.3 - NO CHANGE</p> <p>EXISTING & PROPOSED BUILDING B IBC Section 304.1 Motor vehicle showroom and associated offices S-1 IBC Section 311.2 Motor vehicle repair (MOST RESTRICTIVE) S-2 IBC Section 311.3 Motor vehicle parts department</p> <p>TYPE OF CONSTRUCTION II B</p> <p>BUILDING HEIGHT AND AREA ANALYSIS: S-1 USE GROUP (MOST RESTRICTIVE)</p> <p>Allowable Height: 2 stories + 1 story (sprinkler system- IBC 504.2) = 3 stories, 75'-0" (IBC Table 504.2) Basic Allowable Area: S-1: 17,500 SF/FLR (S-1 Most Restrictive) (IBC Table 504.2) 200% Sprinkler Increase: (17,500 * 2) = 35,000 SF/FLR (IBC 506.2) TOTAL ALLOWABLE AREA: 52,500 SF/FLR (17,000 SF + 35,000 SF = 52,500 SF)</p> <p>BUILDING HEIGHT AND AREA ANALYSIS - PROPOSED</p> <p>EXISTING HEIGHT 2 story / approx. 22'-0" PROPOSED HEIGHT 2 story / 24'-0"</p> <table border="1"> <thead> <tr> <th>BUILDING AREAS</th> <th>First Floor</th> <th>Mezz</th> <th>TOTAL</th> </tr> </thead> <tbody> <tr> <td>B (exist)</td> <td>11,595 sq. ft.</td> <td>2,111 sq. ft.</td> <td>13,706 sq. ft.</td> </tr> <tr> <td>B (add)</td> <td>544 sq. ft.</td> <td>N/A</td> <td>544 sq. ft.</td> </tr> <tr> <td>S-1 (exist)</td> <td>4,510 sq. ft.</td> <td>550 sq. ft.</td> <td>5,060 sq. ft.</td> </tr> <tr> <td>S-1 (add)</td> <td>13,188 sq. ft.</td> <td>N/A</td> <td>13,188 sq. ft.</td> </tr> <tr> <td>S-2 (exist)</td> <td>1,600 sq. ft.</td> <td>1,870 sq. ft.</td> <td>3,470 sq. ft.</td> </tr> <tr> <td>S-2 (alt/add)</td> <td>1,569 sq. ft.</td> <td>1,569 sq. ft.</td> <td>3,138 sq. ft.</td> </tr> <tr> <td>Existing</td> <td>17,705 sq. ft.</td> <td>4,531 sq. ft.</td> <td>22,236 sq. ft.</td> </tr> <tr> <td>Proposed</td> <td>33,006 sq. ft.</td> <td>6,100 sq. ft.</td> <td>39,106 sq. ft.</td> </tr> <tr> <td colspan="4">16,870 sq. ft. total increase</td> </tr> </tbody> </table> <p>EXISTING BUILDING FOOTPRINT 19,694 sq. ft. PROPOSED BUILDING FOOTPRINT 35,005 sq. ft.</p> <p>FIRE-RESISTANCE-RATED CONSTRUCTION (MINIMUM RATINGS)</p> <p>Shaft Enclosures: 1 Hour (IBC Section 713.4) Storage Rooms > 100 sq. ft.: 1 Hour (IBC Table 509, NFPA 101 Section 8.3) Vertical Exit Enclosures: 1 Hour (IBC Section 1009.3.1.2)</p> <p>MEANS OF EGRESS</p> <p>Number of Exits: Min. 2 per level (Table 1015.1) Min. 2 per S-1, S-2, use area with > 29 occupants (IBC Section 1015.1) Min. 2 per B use area with > 49 occupants (IBC Section 1015.1) Min. 2 per S use area where the common path exceeds 100' (IBC Section 1015.1.2) Min. 2 per B use area where the common path exceeds 100' (IBC Section 1015.1.2)</p> <p>Number of Accessible Exits: Same as above Common Path of Egress Travel (1014.3): B 100' (with sprinkler) S 100' (with sprinkler)</p> <p>Maximum Exit Access Travel Distance (Table 1016.2): B 300' S-1 250' S-2 400'</p> <p>Minimum Width of Exits: Corridors 44" (IBC Section 1018.2) Stairways 48" (IBC Section 1007.3)</p> <p>Exit Access Stairways: Non-enclosed per IBC Section 1009.3 exception 1.</p> <p>BUILDING OCCUPANCY</p> <p>As determined in accordance with IBC Table 1004.1.2:</p> <table border="1"> <thead> <tr> <th>Building</th> <th>Floor</th> <th>Area</th> <th>Occupants</th> <th>Additional Occupants</th> </tr> </thead> <tbody> <tr> <td rowspan="6">Building First Floor</td> <td>B (exist)</td> <td>11,595 sq. ft. / 150 sq. ft. per occupant</td> <td>78</td> <td>78 Existing Occupants</td> </tr> <tr> <td>B (add)</td> <td>544 sq. ft. / 150 sq. ft. per occupant</td> <td>4</td> <td>4 Additional Occupants</td> </tr> <tr> <td>S-1 (exist)</td> <td>4,510 sq. ft. / 300 sq. ft. per occupant</td> <td>15</td> <td>15 Existing Occupants</td> </tr> <tr> <td>S-1 (add)</td> <td>13,188 sq. ft. / 300 sq. ft. per occupant</td> <td>44</td> <td>44 Additional Occupants</td> </tr> <tr> <td>S-2 (exist)</td> <td>1,600 sq. ft. / 300 sq. ft. per occupant</td> <td>6</td> <td>6 Existing Occupants</td> </tr> <tr> <td>S-2 (add)</td> <td>1,569 sq. ft. / 300 sq. ft. per occupant</td> <td>6</td> <td>6 Additional Occupants</td> </tr> <tr> <td rowspan="4">Building Second Floor</td> <td>B</td> <td>2,111 sq. ft. / 150 sq. ft. per occupant</td> <td>15</td> <td>15 Existing Occupants NO CHANGE</td> </tr> <tr> <td>S-1</td> <td>550 sq. ft. / 300 sq. ft. per occupant</td> <td>2</td> <td>2 Existing Occupants NO CHANGE</td> </tr> <tr> <td>S-2 (exist)</td> <td>1,870 sq. ft. / 300 sq. ft. per occupant</td> <td>7</td> <td>7 Existing Occupants</td> </tr> <tr> <td>S-2 (add)</td> <td>1,569 sq. ft. / 300 sq. ft. per occupant</td> <td>6</td> <td>6 Additional Occupants</td> </tr> </tbody> </table> <p>EXISTING BUILDING TOTAL OCCUPANTS B 93 Occupants S-1 17 Occupants S-2 12 Occupants TOTAL 122 Total Occupants</p> <p>PROPOSED BUILDING TOTAL OCCUPANTS B 97 Occupants S-1 61 Occupants S-2 24 Occupants TOTAL 184 Total Occupants</p> <p>PLUMBING FIXTURE COUNT</p> <p>In accordance with IBC Table 2902.1.</p> <table border="1"> <thead> <tr> <th>Use Group</th> <th>Fixture Type</th> <th>Load Factor</th> <th>Occupants</th> <th>Min. 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All exterior plywood sheathing shall be fire retardant treated. Fire sprinkler system to be fully automated and permanently monitored. Drinking Fountain shall meet requirements of Section 410 - International Plumbing Code 2018 		BUILDING AREAS	First Floor	Mezz	TOTAL	B (exist)	11,595 sq. ft.	2,111 sq. ft.	13,706 sq. ft.	B (add)	544 sq. ft.	N/A	544 sq. ft.	S-1 (exist)	4,510 sq. ft.	550 sq. ft.	5,060 sq. ft.	S-1 (add)	13,188 sq. ft.	N/A	13,188 sq. ft.	S-2 (exist)	1,600 sq. ft.	1,870 sq. ft.	3,470 sq. ft.	S-2 (alt/add)	1,569 sq. ft.	1,569 sq. ft.	3,138 sq. ft.	Existing	17,705 sq. ft.	4,531 sq. ft.	22,236 sq. ft.	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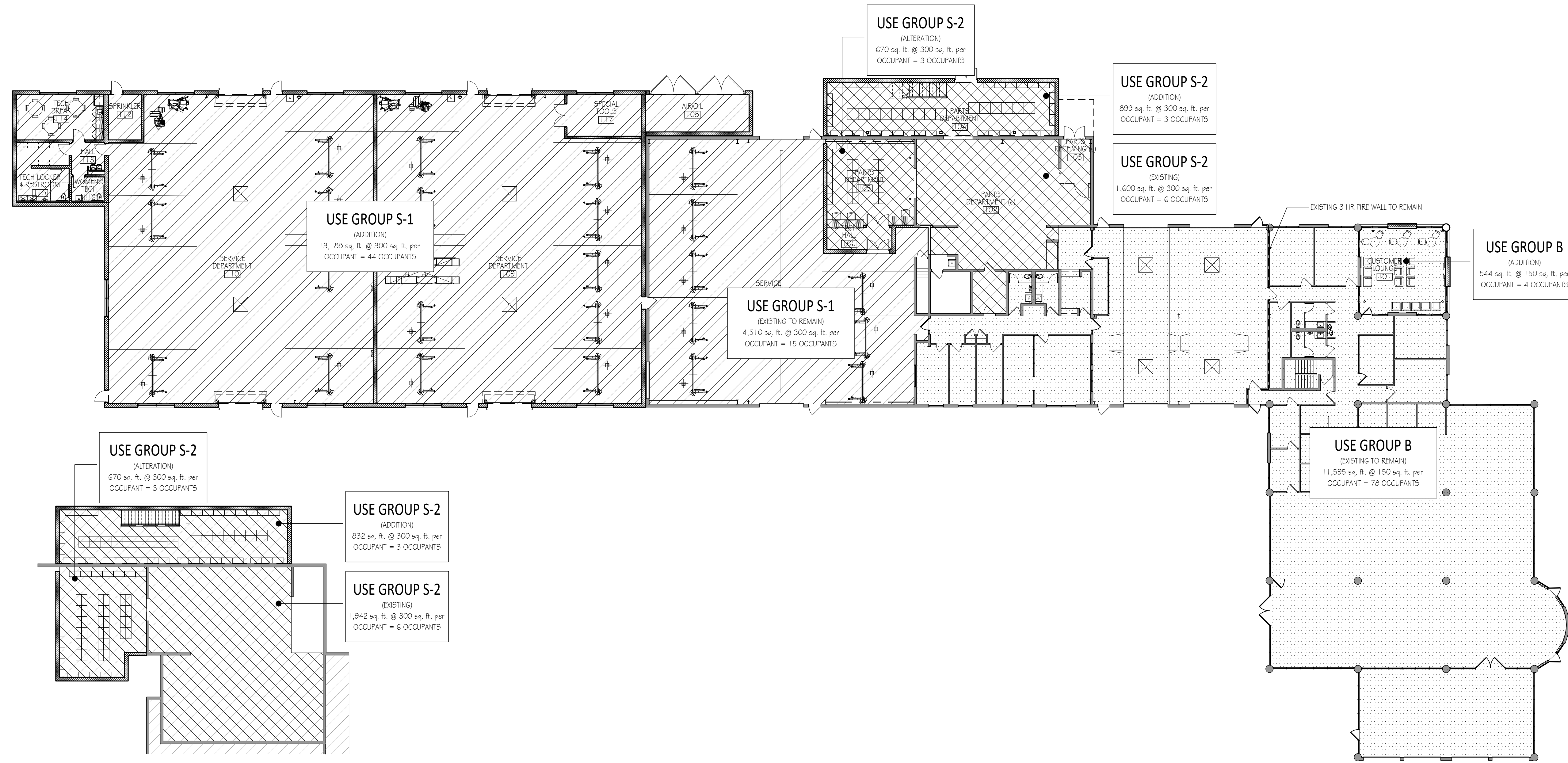
DRAWING INDEX		Bid Set			
COVER SHEET		2023.07.27			
G-001	COVER SHEET	♦			
G-002	PROJECT INFORMATION	♦			
G-003	USE PLAN	♦			
G-004	EGRESS PLAN	♦			
DEMOLITION					
D-110	OVERALL DEMOLITION PLAN	♦			
D-110a	PARTIAL DEMOLITION PLAN	♦			
D-111	DEMOLITION MEZZANINE PLAN	♦			
ARCHITECTURAL					
A-001	ARCHITECTURAL SITE PLAN	♦			
A-110	OVERALL FIRST FLOOR PLAN	♦			
A-110a	PARTIAL FLOOR PLAN	♦			
A-110b	PARTIAL FLOOR PLAN	♦			
A-111	MEZZANINE PLAN	♦			
A-120a	PARTIAL ROOF PLAN	♦			
A-120b	PARTIAL ROOF PLAN	♦			
A-130a	PARTIAL REFLECTED CEILING PLAN	♦			
A-130b	PARTIAL REFLECTED CEILING PLAN	♦			
A-131	MEZZANINE REFLECTED CEILING PLAN	♦			
A-140a	PARTIAL FINISH PLAN	♦			
A-140b	PARTIAL FINISH PLAN	♦			
A-141	MEZZANINE FINISH PLAN	♦			
A-200	BUILDING ELEVATIONS	♦			
A-201	BUILDING ELEVATIONS	♦			
A-300	BUILDING SECTIONS	♦			
A-301	BUILDING SECTIONS	♦			
A-302	BUILDING SECTIONS	♦			
A-310	WALL SECTIONS	♦			
A-311	WALL SECTIONS	♦			
A-312	WALL SECTIONS	♦			
A-400	RESTROOM DETAILS	♦			
A-410	EXTERIOR GLAZING DETAILS	♦			
A-430	MILLWORK DETAILS	♦			
A-500	TYPICAL DETAILS & WALL TYPES	♦			
A-610	DOOR SCHEDULE, INTERIOR MATERIALS & FINISH SCHEDULES	♦			
A-700	STAIR DETAILS	♦			
STRUCTURAL					
S-001	GENERAL NOTES	♦			
S-002	GENERAL NOTES	♦			
S-003	GENERAL NOTES	♦			
S-100a	FOUNDATION PLAN	♦			
S-100b	FOUNDATION PLAN	♦			
S-102a	ROOF FRAMING PLAN	♦			
S-102b	ROOF FRAMING PLAN	♦			
S-103	MEZZANINE FRAMING PLAN	♦			
S-201	FOUNDATION DETAILS & SECTIONS	♦			
S-202	TYPICAL FOUNDATION SECTIONS	♦			
S-401	SECTIONS & DETAILS	♦			
S-402	ROOF SECTIONS & DETAILS	♦			
S-403	MEZZANINE SECTIONS & DETAILS	♦			
MECHANICAL					
M-001	ABBREVIATIONS, GENERAL NOTES, SYMBOLS LIST	♦			
M-101	MECHANICAL PLAN - EXISTING CONDITIONS/DEMOLITION	♦			
M-102	MECHANICAL PLAN - NEW WORK	♦			
M-103	ROOF PLAN - NEW WORK	♦			
M-501	DETAILS	♦			
M-502	DETAILS	♦			
M-601	SCHEDULES	♦			
M-602	MECHANICAL VENTILATION CHARTS	♦			
M-801	SPECIFICATIONS	♦			
PLUMBING					
P-001	ABBREVIATIONS, GENERAL NOTES, SYMBOLS LIST	♦			
P-101	PLUMBING/PIPING PLAN - EXISTING CONDITIONS/DEMOLITION	♦			
P-102	FLOOR PLAN - NEW WORK	♦			
P-103	ROOF PLAN - NEW WORK	♦			
P-401	PART FLOOR PLAN S PLUMBING/PIPING NEW WORK	♦			
P-501	DETAILS	♦			
P-502	DETAILS	♦			
P-601	SCHEDULES, RISER DIAGRAMS	♦			
P-602	RISER DIAGRAMS	♦			
P-603	RISER DIAGRAMS	♦			
P-801	SPECIFICATIONS	♦			
ELECTRICAL					
E-001	GENERAL NOTES, SYMBOLS AND ABBREVIATIONS	♦			
E-100	SITE ELECTRICAL PLAN	♦			
E-101	LIGHTING/POWER PLAN - DEMOLITION	♦			
E-102	LIGHTING PLAN - NEW WORK	♦			
E-103	POWER PLAN - NEW WORK	♦			
E-104	MECHANICAL POWER PLAN	♦			
E-501	POWER PLAN - NEW WORK	♦			
E-601	PART PLANS & POWER RISER	♦			
E-602	PANEL SCHEDULES	♦			
E-603	PANEL SCHEDULES	♦			
E-801	SPECIFICATIONS	♦			

CMA's Honda of Winchester
Addition & Alteration
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CMA Properties

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Charlottesville, VA 22901

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2 MEZZANINE USE PLAN
Scale: 1/16" = 1'-0"

1 FIRST FLOOR USE PLAN
Scale: 1/16" = 1'-0"

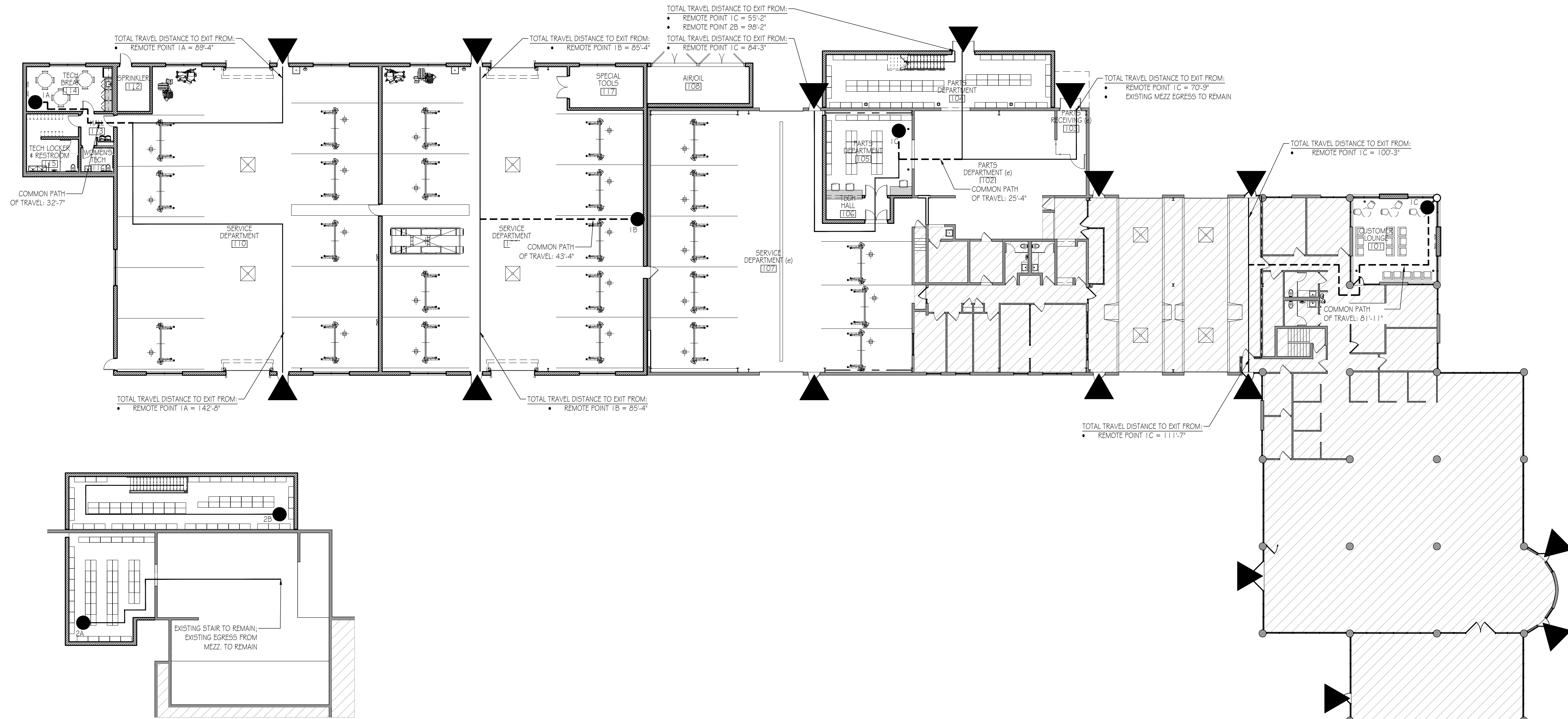
USE PLAN LEGEND	KEY PLAN	GENERAL PLAN NOTES	NORTH ARROW & SCALE
<p>USE GROUP B - MOTOR VEHICLE SHOWROOM AND OFFICES</p> <p>USE GROUP S-1 - MOTOR VEHICLE REPAIR GARAGE</p> <p>USE GROUP S-2 - PARTS STORAGE</p>		<ul style="list-style-type: none"> FIRST FLOOR SLAB ELEVATION SHALL BE REFERRED TO AS 0'-0"; ALL ELEVATION HEIGHTS IN THE PROJECT ARE REFERENCED FROM SHOWROOM FINISHED FLOOR ELEVATION, U.O.N. ALL DIMENSIONS ARE TO FACE OF FINISHED SURFACE, UNLESS NOTED OTHERWISE ALL INTERIOR PARTITIONS ARE TYPE 1 U.O.N. OUTSIDE EDGE OF ALL DOOR FRAMES @ METAL STUD WALLS TO BE 3" FROM ADJACENT WALL, UNLESS NOTED OTHERWISE OUTSIDE EDGE OF ALL DOOR FRAMES @ ALL MASONRY WALLS TO BE 4" FROM ADJACENT WALL, UNLESS NOTED OTHERWISE SEE A-200 SERIES SHEET FOR EXTERIOR BUILDING ELEVATIONS SEE A-300 SERIES SHEETS FOR BUILDING 4 WALL SECTIONS SEE A-400 SERIES SHEETS FOR RESTROOM, MILLWORK & GLAZING DETAILS SEE A-500 SERIES SHEETS FOR TYPICAL & NOTED DETAILS (COLUMNS, BULKHEADS, ETC.) SEE A-600 SERIES SHEETS FOR MATERIAL, FINISH, DOOR & FURNITURE SCHEDULES SEE A-700 SERIES SHEETS FOR VERTICAL CIRCULATION DETAILS 	<p>0 4' 8' 16' 32' 1/16" = 1'-0"</p>
<p>Bid Set: 2023.07.27</p> <p>No. Issue / Revision Date</p> <p>Drawn By: LK</p> <p>Checked By: LH</p> <p>Plot Date: August 2, 2023</p>		<p>Sheet Number</p> <p>G-003</p> <p>Sheet Title</p> <p>Use Plan</p>	
<p>Project Number: CMA009a</p> <p>File Name: G-003.dwg</p>			

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2 MEZZANINE USE PLAN
Scale: 1/16" = 1'-0"

1 EGRESS PLAN
Scale: 1/16" = 1'-0"

EGRESS PLAN LEGEND		KEY PLAN	GENERAL PLAN NOTES	NORTH ARROW & SCALE																		
●	EXIT & REMOTE POINT		<ul style="list-style-type: none"> FIRST FLOOR SLAB ELEVATION SHALL BE REFERRED TO AS 0'-0"; ALL ELEVATION HEIGHTS IN THE PROJECT ARE REFERENCED FROM SHOWROOM FINISHED FLOOR ELEVATION, U.O.N. ALL DIMENSIONS ARE TO FACE OF FINISHED SURFACE, UNLESS NOTED OTHERWISE ALL INTERIOR PARTITIONS ARE TYPE 1 U.O.N. OUTSIDE EDGE OF ALL DOOR FRAMES @ METAL STUD WALLS TO BE 3" FROM ADJACENT WALL, UNLESS NOTED OTHERWISE OUTSIDE EDGE OF ALL DOOR FRAMES @ ALL MASONRY WALLS TO BE 4" FROM ADJACENT WALL, UNLESS NOTED OTHERWISE SEE A-200 SERIES SHEET FOR EXTERIOR BUILDING ELEVATIONS SEE A-300 SERIES SHEETS FOR BUILDING & WALL SECTIONS SEE A-400 SERIES SHEETS FOR RESTROOM, MILLWORK & GLAZING DETAILS SEE A-500 SERIES SHEETS FOR TYPICAL & NOTED DETAILS (COLUMNS, BULKHEADS, ETC.) SEE A-600 SERIES SHEETS FOR MATERIAL, FINISH, DOOR & FURNITURE SCHEDULES SEE A-700 SERIES SHEETS FOR VERTICAL CIRCULATION DETAILS 	 0 4' 8' 16' 32' 1/16" = 1'-0"																		
—	PATH OF TRAVEL																					
- - -	COMMON PATH OF TRAVEL																					
				<table border="1"> <tr> <td>Bid Set</td> <td>2023.07.27</td> </tr> <tr> <td>No. / Issue / Revision</td> <td>Date</td> </tr> <tr> <td>Drawn By:</td> <td>LK</td> </tr> <tr> <td>Checked By:</td> <td>LH</td> </tr> <tr> <td>Plot Date:</td> <td>August 2, 2023</td> </tr> <tr> <td>Sheet Number</td> <td>G-004</td> </tr> <tr> <td>Sheet Title</td> <td>Egress Plan</td> </tr> <tr> <td>Project Number</td> <td>CMA009a</td> </tr> <tr> <td>File Name</td> <td>G-004.dwg</td> </tr> </table>	Bid Set	2023.07.27	No. / Issue / Revision	Date	Drawn By:	LK	Checked By:	LH	Plot Date:	August 2, 2023	Sheet Number	G-004	Sheet Title	Egress Plan	Project Number	CMA009a	File Name	G-004.dwg
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1 OVERALL DEMOLITION PLAN

Scale: 1/16" = 1'-0"

FLOOR PLAN LEGEND		GENERAL PLAN NOTES	NORTH ARROW & SCALE																					
	NEW DOOR & TAG - SEE DOOR SCHEDULE	<ul style="list-style-type: none"> FIRST FLOOR SLAB ELEVATION SHALL BE REFERRED TO AS 0'-0"; ALL ELEVATION HEIGHTS IN THE PROJECT ARE REFERENCED FROM SHOWROOM FINISHED FLOOR ELEVATION, U.O.N. ALL DIMENSIONS ARE TO FACE OF FINISHED SURFACE, UNLESS NOTED OTHERWISE ALL INTERIOR PARTITIONS ARE TYPE 1 U.O.N. OUTSIDE EDGE OF ALL DOOR FRAMES @ METAL STUD WALLS TO BE 3" FROM ADJACENT WALL, UNLESS NOTED OTHERWISE OUTSIDE EDGE OF ALL DOOR FRAMES @ ALL MASONRY WALLS TO BE 4" FROM ADJACENT WALL, UNLESS NOTED OTHERWISE SEE A-200 SERIES SHEET FOR EXTERIOR BUILDING ELEVATIONS SEE A-300 SERIES SHEETS FOR BUILDING 4 WALL SECTIONS SEE A-400 SERIES SHEETS FOR RESTROOM, MILLWORK & GLAZING DETAILS SEE A-500 SERIES SHEETS FOR TYPICAL & NOTED DETAILS (COLUMNS, BULKHEADS, ETC.) SEE A-600 SERIES SHEETS FOR MATERIAL, FINISH, DOOR & FURNITURE SCHEDULES SEE A-700 SERIES SHEETS FOR VERTICAL CIRCULATION DETAILS 	 1/16" = 1'-0"																					
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	EXISTING DOOR TO BE DEMOLISHED																							
	NEW PARTITION - TYPE 1 U.O.N.																							
	EXISTING WALL/PARTITION TO REMAIN																							
	EXISTING WALL/PARTITION TO BE DEMOLISHED																							
	AREA NOT IN CONTRACT - NO WORK PROPOSED																							
		<table border="1"> <tr> <td>Bid Set</td> <td>2023.07.27</td> </tr> <tr> <td>No. Issue / Revision</td> <td>Date</td> </tr> <tr> <td>Drawn By:</td> <td>LK</td> </tr> <tr> <td>Checked By:</td> <td>LH</td> </tr> <tr> <td>Plot Date:</td> <td>August 2, 2023</td> </tr> <tr> <td colspan="2">Sheet Number</td> </tr> <tr> <td colspan="2">D-110</td> </tr> <tr> <td colspan="2">Sheet Title</td> </tr> <tr> <td colspan="2">Overall Demolition Plan</td> </tr> <tr> <td>Project Number</td> <td>File Name</td> </tr> <tr> <td>CMA009a</td> <td>D-110.dwg</td> </tr> </table>	Bid Set	2023.07.27	No. Issue / Revision	Date	Drawn By:	LK	Checked By:	LH	Plot Date:	August 2, 2023	Sheet Number		D-110		Sheet Title		Overall Demolition Plan		Project Number	File Name	CMA009a	D-110.dwg
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1 DEMOLITION PLAN

Scale: 1/8" = 1'-0"

DEMO PLAN NOTES

1. EXISTING LIFT TO REMAIN.
2. EXISTING TRENCH DRAIN TO REMAIN.
3. EXISTING COLUMNS TO REMAIN, TYP.; CLEAN & PREP TO RECEIVE NEW PAINT.
4. CLEAN & PREP EXISTING WALLS TO RECEIVE NEW PAINT, TYP.
5. REMOVE EXISTING LIFT, G.C. TO COORDINATE w/ OWNER ON RE-USE OR COMPLETE REMOVAL.
6. REMOVE EXISTING OVERHEAD DOOR, TRACK & ANY ASSOCIATED CONTROLS.
7. REMOVE PORTION OF EXISTING WALL; SEE STRUCTURAL & PROPOSED PLANS FOR ADDITIONAL INFORMATION.
8. REMOVE EXISTING WALLS AS NOTED.
9. REMOVE EXISTING DOOR, FRAME.
10. REMOVE EXISTING MILLWORK COUNTER.
11. REMOVE EXISTING EQUIPMENT, G.C. TO COORDINATE w/ OWNER ON RE-USE OR COMPLETE REMOVAL.
12. CLEAN & PREP EXISTING FLOOR TO RECEIVE NEW FINISH.
13. CLEAN & PREP EXISTING CEILING FOR NEW PAINT.
14. REMOVE EXISTING LIGHTING.

GENERAL DEMOLITION NOTES

- THE CONTRACTOR IS TO PROVIDE ALL WORK SHOWN ON THE DRAWINGS OR INFERABLE THEREFROM. THE WORK IS TO BE COMPLETE & FINISHED IN A TIMELY MANNER. ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE CODES.
- THE SPACE SHALL BE INSPECTED BY THE CONTRACTOR & SUBCONTRACTORS TO REVIEW THE EXTENT OF THE DEMOLITION OF THE FLOORS, CEILINGS, PARTITIONS, MECHANICAL, PLUMBING, & ELECTRICAL WORK. ALL DEFICIENCIES OR CONCERNS SHALL BE REPORTED TO THE OWNER & ARCHITECT IN WRITING PRIOR TO SUBMITTING A BID FOR WORK. FAILURE TO NOTIFY SAME SHALL CONSTITUTE ACCEPTANCE OF THE CONTRACT DOCUMENTS & ACKNOWLEDGEMENT OF EXISTING CONDITIONS FOR THIS PROJECT.
- ALL AREAS ADJACENT TO THE WORK AREAS SHALL BE PROTECTED DURING DEMOLITION, & IF DAMAGED DURING DEMOLITION, SHALL BE REPLACED OR RESTORED TO THE ORIGINAL CONDITION.
- THE SITE & BUILDING SHALL BE KEPT IN AN ORDERLY MANNER AT ALL TIMES. ALL DEBRIS SHALL BE REMOVED FROM THE SITE & DISPOSED OF LEGALLY. THE CONTRACTOR SHALL INVESTIGATE THE SITE FOR THE PRESENCES OF ASBESTOS. IF FOUND, ASBESTOS SHALL BE REMOVED & DISPOSED OF IN ACCORDANCE WITH ALL FEDERAL & LOCAL LAWS.
- THE CONTRACTOR SHALL NOTIFY ARCHITECT IF STRUCTURAL ITEMS ARE FOUND WHICH DOES NOT APPEAR ON THE DRAWINGS.
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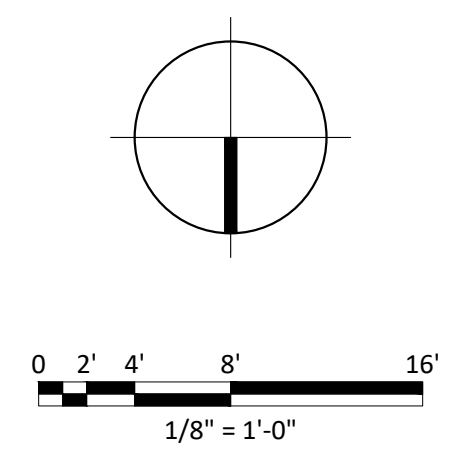
FLOOR PLAN LEGEND

	NEW DOOR & TAG - SEE DOOR SCHEDULE
	EXISTING DOOR TO REMAIN
	EXISTING DOOR TO BE DEMOLISHED
	NEW PARTITION - TYPE I U.O.N.
	EXISTING WALL/PARTITION TO REMAIN
	EXISTING WALL/PARTITION TO BE DEMOLISHED
	AREA NOT IN CONTRACT - NO WORK PROPOSED

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- SEE A-700 SERIES SHEETS FOR VERTICAL CIRCULATION DETAILS

NORTH ARROW & SCALE



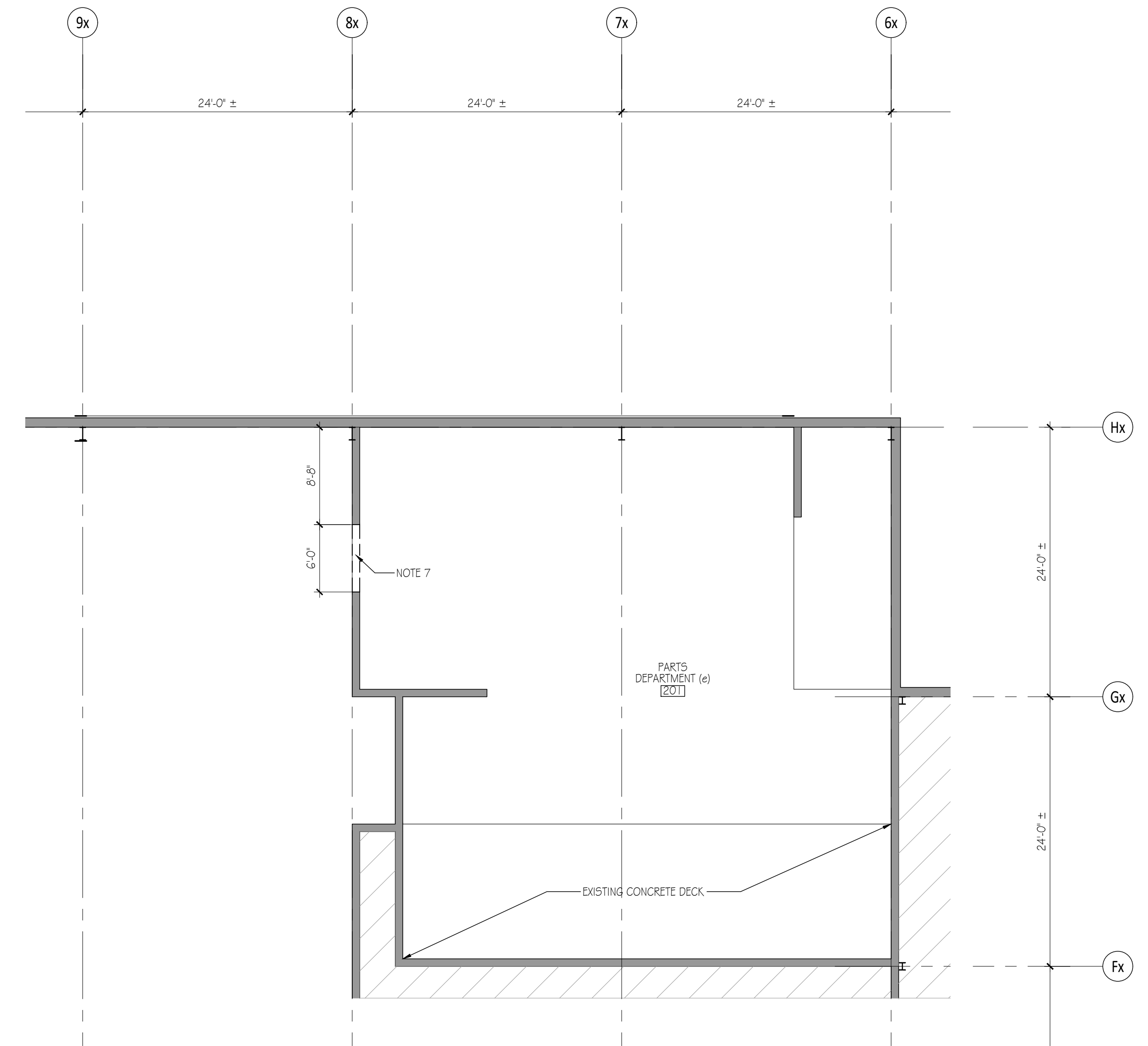
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1 DEMOLITION MEZZANINE PLAN
Scale: 1/16" = 1'-0"

DEMO PLAN NOTES

1. EXISTING LIFT TO REMAIN.
2. EXISTING TRENCH DRAIN TO REMAIN.
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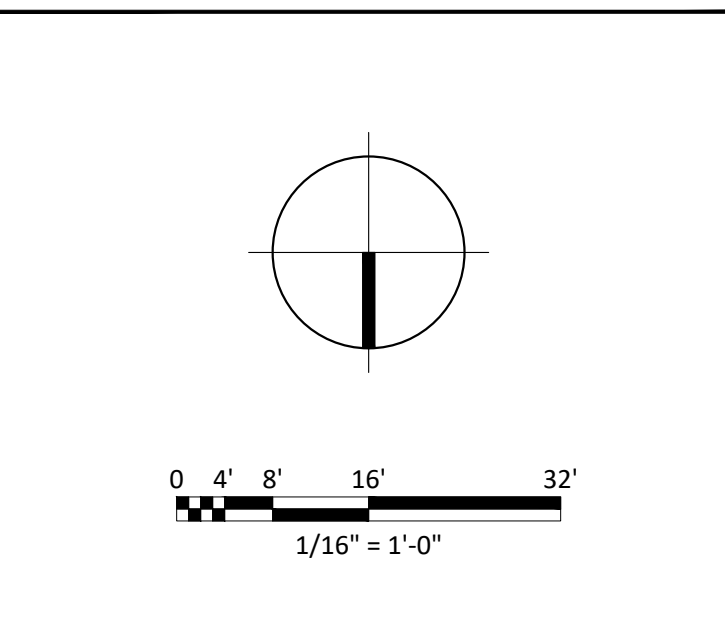
FLOOR PLAN LEGEND

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NORTH ARROW & SCALE



Bid Set 2023.07.27

No. Issue / Revision Date

Drawn By: LK

Checked By: LH

Plot Date: August 2, 2023

Sheet Number
D-111
Sheet Title
Demolition Mezzanine Plan

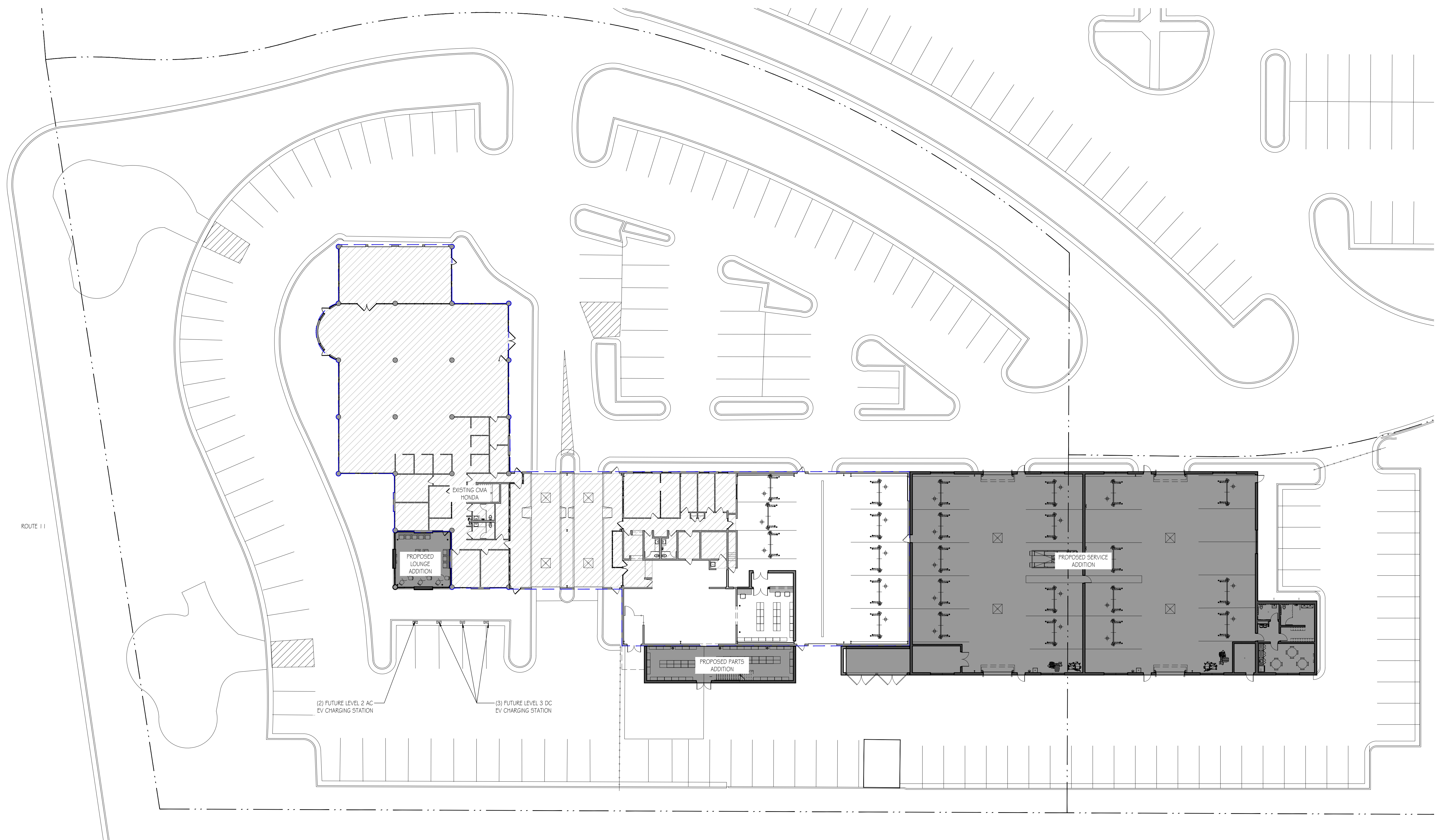
Project Number: CMA009a | File Name: D-111.dwg

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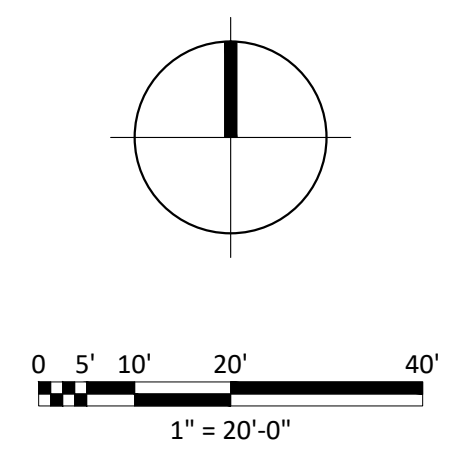


1 ARCHITECTURAL SITE PLAN
*PROPOSED ARCHITECTURAL SITE PLAN IS FOR REFERENCE ONLY; SEE CIVIL DRAWINGS FOR FINAL PLANS
Scale: 1" = 20'-0"

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- SEE A-300 SERIES SHEETS FOR BUILDING 4 WALL SECTIONS
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- SEE A-500 SERIES SHEETS FOR TYPICAL 4 NOTED DETAILS (COLUMNS, BULKHEADS, ETC.)
- SEE A-600 SERIES SHEETS FOR MATERIAL, FINISH, DOOR & FURNITURE SCHEDULES
- SEE A-700 SERIES SHEETS FOR VERTICAL CIRCULATION DETAILS

NORTH ARROW & SCALE



Bid Set	2023.07.27
No. / Issue / Revision	Date
Drawn By:	LK
Checked By:	LH
Plot Date:	August 2, 2023

Sheet Number
A-001
Sheet Title
Architectural Site Plan

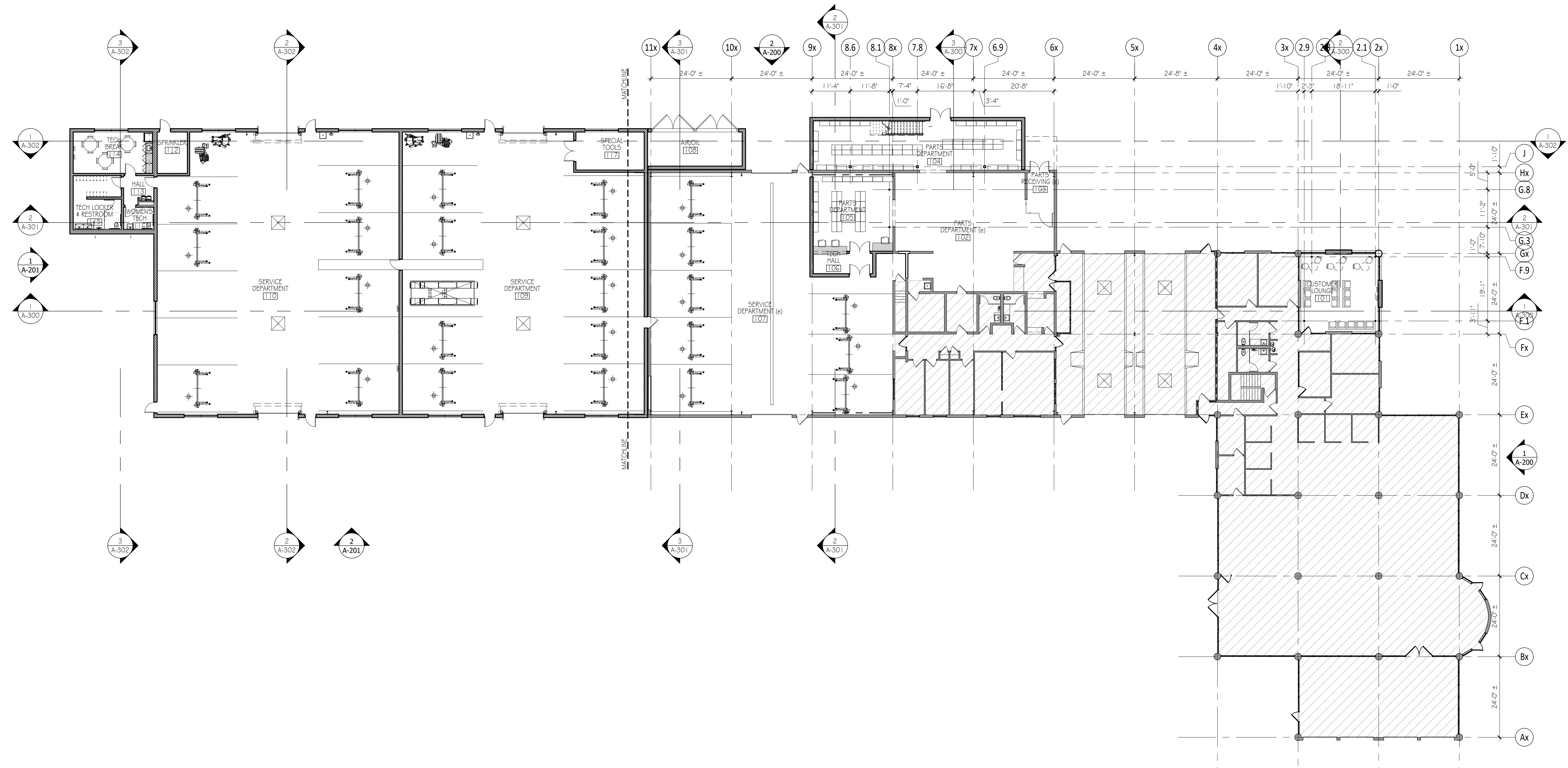
Project Number	File Name
CMA009a	A-001.dwg

CMA's Honda of Winchester
Addition & Alteration
3985 Valley Pike
Winchester, VA 22602

CMA Properties

100 Myers Drive
Charlottesville, VA 22901

I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Virginia, license number: 0401014619, expiration date: 31 October, 2024.



1 OVERALL FIRST FLOOR PLAN Scale: 1/16" = 1'-0"

FLOOR PLAN LEGEND		KEY PLAN	GENERAL PLAN NOTES	NORTH ARROW & SCALE
	NEW DOOR & TAG - SEE DOOR SCHEDULE		<ul style="list-style-type: none"> FIRST FLOOR SLAB ELEVATION SHALL BE REFERENCED TO AS 0'-0"; ALL ELEVATION HEIGHTS IN THE PROJECT ARE REFERENCED FROM SHOWROOM FINISHED FLOOR ELEVATION, U.O.N. ALL DIMENSIONS ARE TO FACE OF FINISHED SURFACE, UNLESS NOTED OTHERWISE ALL INTERIOR PARTITIONS ARE TYPE 1 U.O.N. OUTSIDE EDGE OF ALL DOOR FRAMES @ METAL STUD WALLS TO BE 3" FROM ADJACENT WALL, UNLESS NOTED OTHERWISE OUTSIDE EDGE OF ALL DOOR FRAMES @ ALL MASONRY WALLS TO BE 4" FROM ADJACENT WALL, UNLESS NOTED OTHERWISE SEE A-200 SERIES SHEET FOR EXTERIOR BUILDING ELEVATIONS SEE A-300 SERIES SHEETS FOR BUILDING & WALL SECTIONS SEE A-400 SERIES SHEETS FOR RESTROOM, MILLWORK & GLAZING DETAILS SEE A-500 SERIES SHEETS FOR TYPICAL & NOTED DETAILS (COLUMNS, BULKHEADS, ETC.) SEE A-600 SERIES SHEETS FOR MATERIAL, FINISH, DOOR & FURNITURE SCHEDULES SEE A-700 SERIES SHEETS FOR VERTICAL CIRCULATION DETAILS 	<p>0 4' 8' 16' 32' 1/16" = 1'-0"</p>
	EXISTING DOOR TO REMAIN			
	EXISTING DOOR TO BE DEMOLISHED			
	NEW PARTITION - TYPE 1 U.O.N.			
	EXISTING WALL/PARTITION TO REMAIN			
	EXISTING WALL/PARTITION TO BE DEMOLISHED			
	AREA NOT IN CONTRACT - NO WORK PROPOSED			

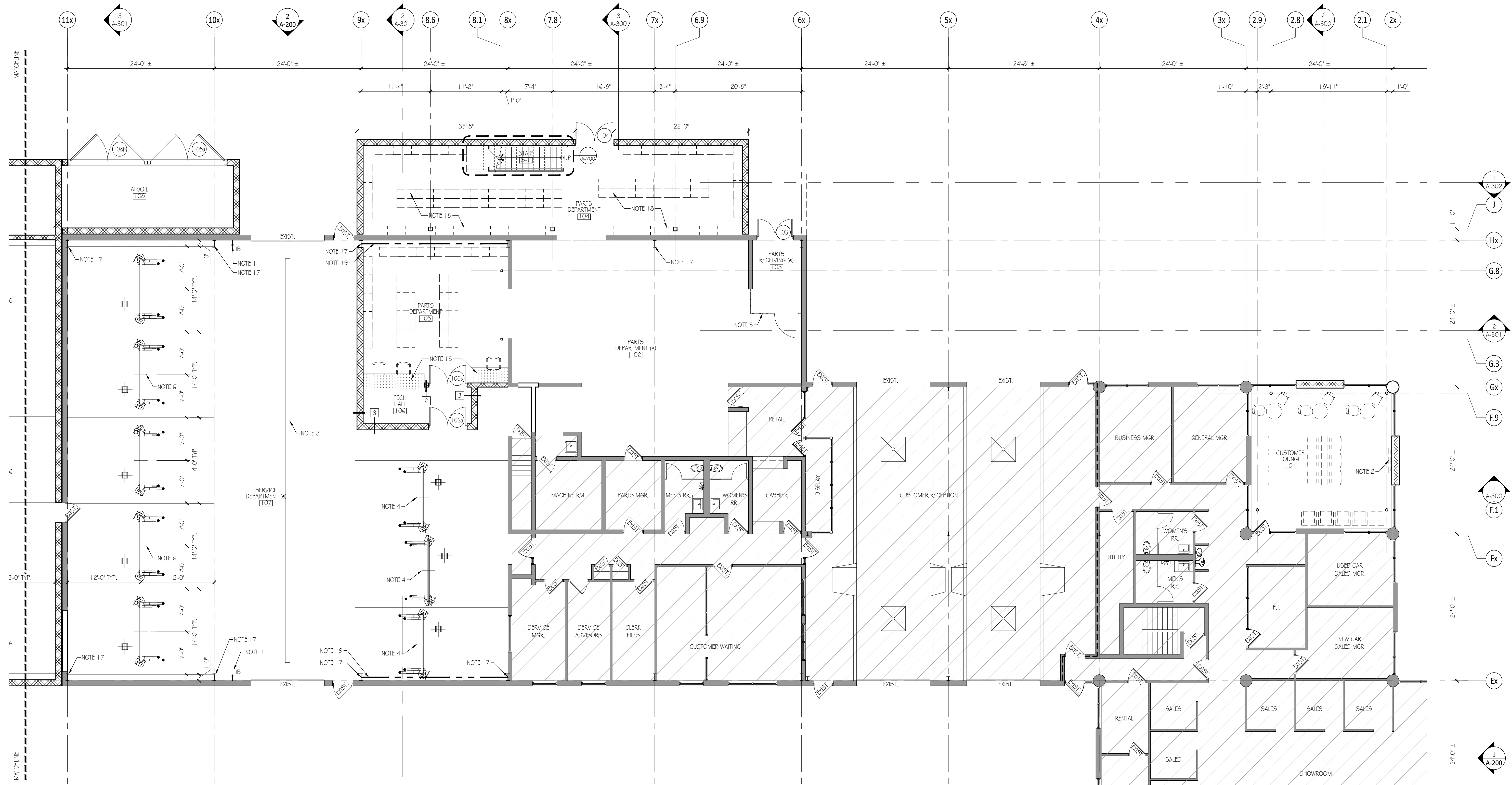
Bid Set	2023.07.27
No. / Issue / Revision	Date
Drawn By:	LK
Checked By:	LH
Plot Date:	August 2, 2023
Sheet Number	A-110
Sheet Title	Overall First Floor Plan
Project Number	CMA009a
File Name	A-110.dwg

CMA's Honda of Winchester
Addition & Alteration
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1 PARTIAL FLOOR PLAN

Scale: 1/8" = 1'-0"

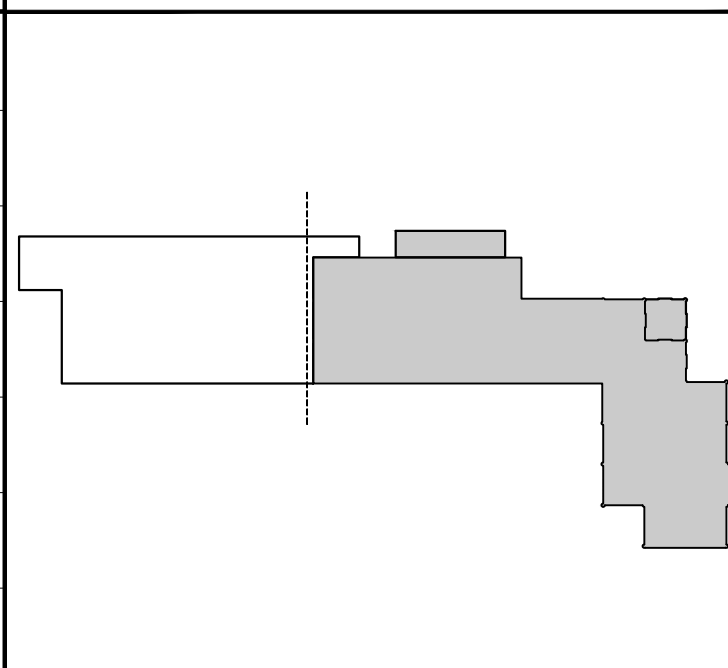
FLOOR PLAN NOTES

1. HOSE BIB. SEE PLUMBING DRAWINGS.
 2. APPROXIMATE LOCATION OF OWNER PROVIDED, WALL-MOUNTED T.V., G.C. SHALL COORDINATE WITH OWNER IN FIELD FOR LOCATION & PROVIDE BLOCKING (FR) AS REQUIRED.
 3. EXISTING TRENCH DRAIN TO REMAIN.
 4. EXISTING LIFT TO REMAIN.
 5. CHAIN LINK FENCE W/ ROLLING GATE. G.C. SHALL COORDINATE FINAL HEIGHT & GATE OPENING SIZE WITH OWNER.
 6. ABOVE-GROUND LIFT BY OWNER. G.C. SHALL COORDINATE CONC. EXPANSION JOINTS w/ FINAL LAYOUT REQUIREMENTS & OWNER'S VENDOR IN FIELD.
 7. FLOOR DRAIN, SEE PLUMBING DRAWINGS & TYPICAL DETAILS A-500.
 8. NON-PIPED EMERGENCY EYE WASH SINK AND LAUNDRY SINK, SEE PLUMBING DRAWINGS.
 9. ALIGNMENT RACK w/ SLAB RECESS & FLOOR DRAIN. G.C. TO COORDINATE WITH OWNER PROVIDED SPECIFICATION.
 10. LOCKERS BY OWNER.
 11. DUAL HEIGHT ACCESSIBLE WATER FOUNTAIN w/ WATER BOTTLE FILLER, SEE PLUMBING DRAWINGS.
 12. BOLLARD - SEE DETAIL AA-500, TYP.
 13. COILING OVERHEAD DOORS; SEE DOOR SCHEDULE A-610.
 14. EV CHARGER. SEE ELECTRICAL DRAWINGS.
 15. NEW MILLWORK; SEE DETAILS A-430.
 16. TIRE EQUIPMENT BY OWNER'S VENDOR; G.C. TO COORDINATE FINAL ELECTRICAL REQUIREMENTS.
 17. EXISTING COLUMNS TO REMAIN, CLEAN & PREP TO RECEIVE NEW FINISH, SEE FINISH PLAN.
 18. PARTS BINS BY OWNER.
 19. EXISTING X-BRACING TO REMAIN, TYP. CLEAN & PREP TO RECEIVE NEW PAINT.
- *ALL FURNITURE IS BY OWNER AND IS SHOWN FOR REFERENCE ONLY
*NOT ALL NOTES APPLY TO EACH PLAN SHEET

FLOOR PLAN LEGEND

- NEW DOOR & TAG - SEE DOOR SCHEDULE
- EXISTING DOOR TO REMAIN
- EXISTING DOOR TO BE DEMOLISHED
- NEW PARTITION - TYPE I U.N.O.
- EXISTING WALL/PARTITION TO REMAIN
- EXISTING WALL/PARTITION TO BE DEMOLISHED
- AREA NOT IN CONTRACT - NO WORK PROPOSED

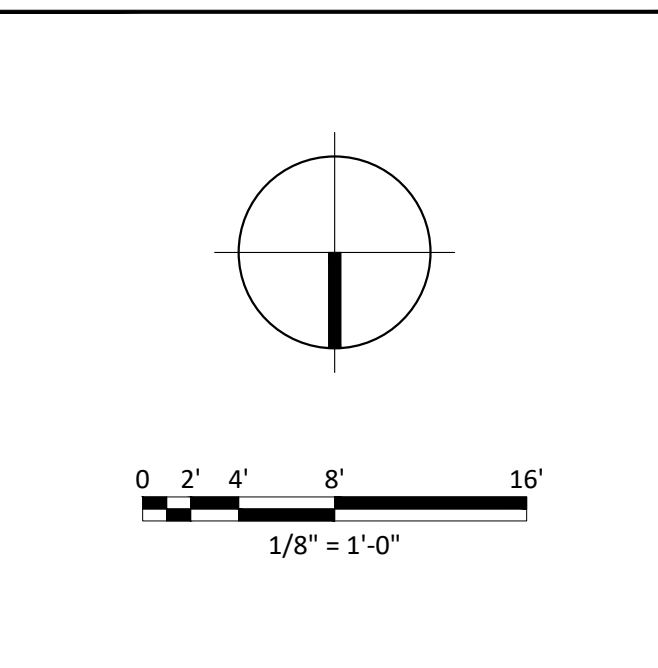
KEY PLAN



GENERAL PLAN NOTES

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- ALL DIMENSIONS ARE TO FACE OF FINISHED SURFACE, UNLESS NOTED OTHERWISE
- ALL INTERIOR PARTITIONS ARE TYPE I U.O.N.
- OUTSIDE EDGE OF ALL DOOR FRAMES @ METAL STUD WALLS TO BE 3" FROM ADJACENT WALL, UNLESS NOTED OTHERWISE
- OUTSIDE EDGE OF ALL DOOR FRAMES @ ALL MASONRY WALLS TO BE 4" FROM ADJACENT WALL, UNLESS NOTED OTHERWISE
- SEE A-200 SERIES SHEET FOR EXTERIOR BUILDING ELEVATIONS
- SEE A-300 SERIES SHEETS FOR BUILDING & WALL SECTIONS
- SEE A-400 SERIES SHEETS FOR RESTROOM, MILLWORK & GLAZING DETAILS
- SEE A-500 SERIES SHEETS FOR TYPICAL & NOTED DETAILS (COLUMNS, BULKHEADS, ETC.)
- SEE A-600 SERIES SHEETS FOR MATERIAL, FINISH, DOOR & FURNITURE SCHEDULES
- SEE A-700 SERIES SHEETS FOR VERTICAL CIRCULATION DETAILS

NORTH ARROW & SCALE



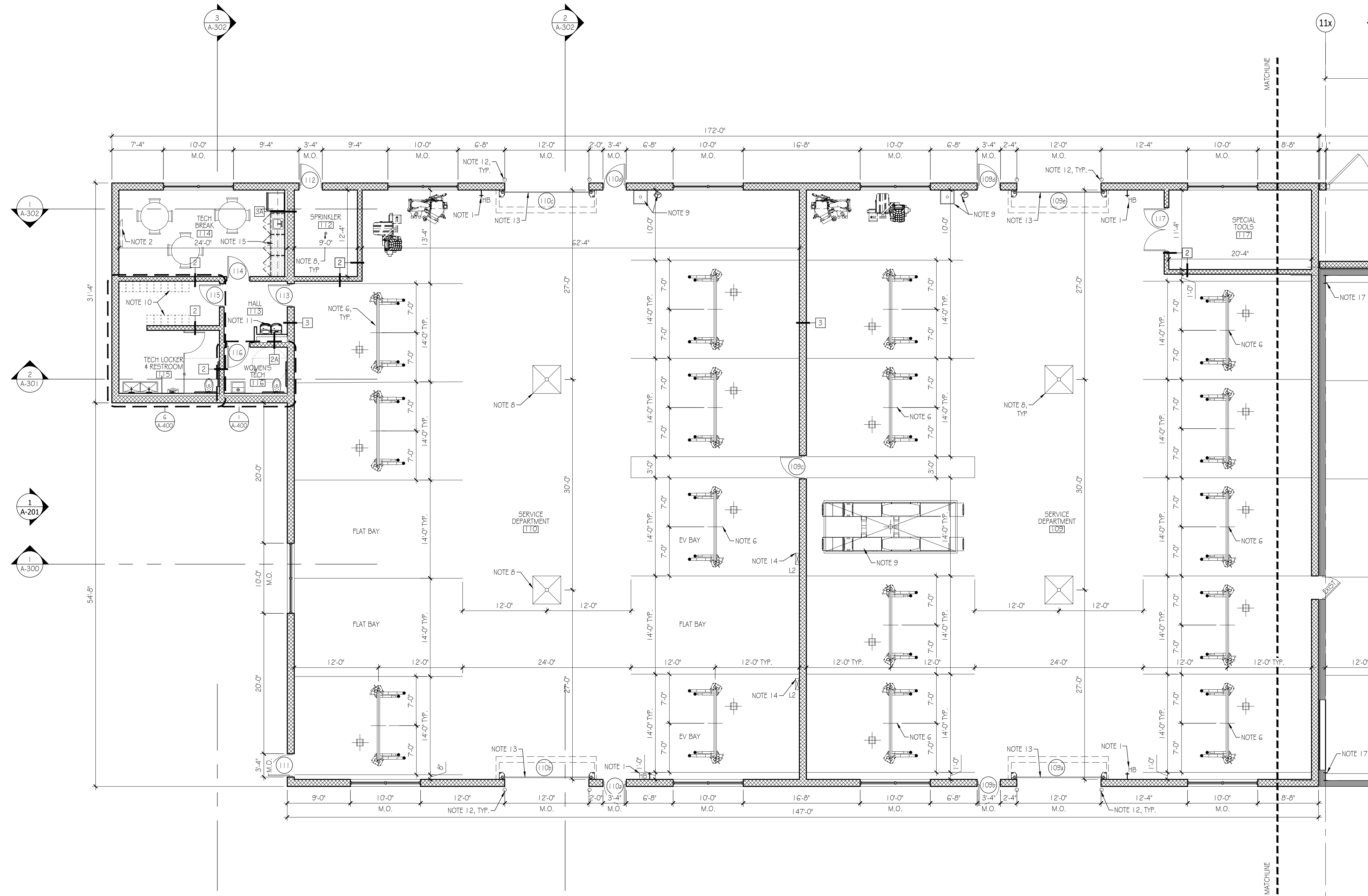
Bid Set	2023.07.27
No. Issue / Revision	Date
Drawn By:	LK
Checked By:	LH
Plot Date:	August 2, 2023
Sheet Number	
A-110a	
Sheet Title	
Partial First Floor Plan	
Project Number	File Name
CMA009a	A-110a.dwg

CMA's Honda of Winchester
Addition & Alteration
3985 Valley Pike
Winchester, VA 22602

CMA Properties

100 Myers Drive
Charlottesville, VA 22901

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1 PARTIAL FLOOR PLAN

Scale: 1/8" = 1'-0"

FLOOR PLAN NOTES		FLOOR PLAN LEGEND		KEY PLAN	GENERAL PLAN NOTES	NORTH ARROW & SCALE
1. HOSE BIB. SEE PLUMBING DRAWINGS.	12. BOLLARD - SEE DETAIL AA-500, TYP.		NEW DOOR & TAG - SEE DOOR SCHEDULE		<ul style="list-style-type: none"> FIRST FLOOR SLAB ELEVATION SHALL BE REFERRED TO AS 0'-0"; ALL ELEVATION HEIGHTS IN THE PROJECT ARE REFERENCED FROM SHOWROOM FINISHED FLOOR ELEVATION, U.O.N. ALL DIMENSIONS ARE TO FACE OF FINISHED SURFACE, UNLESS NOTED OTHERWISE ALL INTERIOR PARTITIONS ARE TYPE 1 U.O.N. OUTSIDE EDGE OF ALL DOOR FRAMES @ METAL STUD WALLS TO BE 3" FROM ADJACENT WALL, UNLESS NOTED OTHERWISE OUTSIDE EDGE OF ALL DOOR FRAMES @ ALL MASONRY WALLS TO BE 4" FROM ADJACENT WALL, UNLESS NOTED OTHERWISE SEE A-200 SERIES SHEET FOR EXTERIOR BUILDING ELEVATIONS SEE A-300 SERIES SHEETS FOR BUILDING & WALL SECTIONS SEE A-400 SERIES SHEETS FOR RESTROOM, MILLWORK & GLAZING DETAILS SEE A-500 SERIES SHEETS FOR TYPICAL & NOTED DETAILS (COLUMNS, BULKHEADS, ETC.) SEE A-600 SERIES SHEETS FOR MATERIAL, FINISH, DOOR & FURNITURE SCHEDULES SEE A-700 SERIES SHEETS FOR VERTICAL CIRCULATION DETAILS 	 1/8" = 1'-0"
2. APPROXIMATE LOCATION OF OWNER PROVIDED, WALL-MOUNTED T.V., G.C. SHALL COORDINATE WITH OWNER IN FIELD FOR LOCATION & PROVIDE BLOCKING (FR) AS REQUIRED.	13. COILING OVERHEAD DOORS; SEE DOOR SCHEDULE A-610.		EXISTING DOOR TO REMAIN			
3. EXISTING TRENCH DRAIN TO REMAIN.	14. EV CHARGER; SEE ELECTRICAL DRAWINGS.		EXISTING DOOR TO BE DEMOLISHED			
4. EXISTING LIFT TO REMAIN.	15. NEW MILLWORK; SEE DETAILS A-430.		NEW PARTITION - TYPE 1 U.O.N.			
5. CHAIN LINK FENCE W/ ROLLING GATE. G.C. SHALL COORDINATE FINAL HEIGHT & GATE OPENING SIZE WITH OWNER.	16. TIRE EQUIPMENT BY OWNER'S VENDOR; G.C. TO COORDINATE FINAL ELECTRICAL REQUIREMENTS.		EXISTING WALL/PARTITION TO REMAIN			
6. ABOVE-GROUND LIFT BY OWNER. G.C. SHALL COORDINATE CONC. EXPANSION JOINTS w/ FINAL LAYOUT REQUIREMENTS & OWNER'S VENDOR IN FIELD.	17. EXISTING COLUMNS TO REMAIN, CLEAN & PREP TO RECEIVE NEW FINISH, SEE FINISH PLAN.		EXISTING WALL/PARTITION TO BE DEMOLISHED			
7. FLOOR DRAIN, SEE PLUMBING DRAWINGS & TYPICAL DETAILS A-500.	18. PARTS BINS BY OWNER.		AREA NOT IN CONTRACT - NO WORK PROPOSED			
8. NON-PIPED EMERGENCY EYE WASH SINK AND LAUNDRY SINK, SEE PLUMBING DRAWINGS.	19. EXISTING X-BRACING TO REMAIN, TYP. CLEAN & PREP TO RECEIVE NEW PAINT.					
9. ALIGNMENT RACK w/ SLAB RECESSES & FLOOR DRAIN. G.C. TO COORDINATE WITH OWNER PROVIDED SPECIFICATION.						
10. LOCKERS BY OWNER.						
11. DUAL HEIGHT ACCESSIBLE WATER FOUNTAIN w/ WATER BOTTLE FILLER, SEE PLUMBING DRAWINGS.						

Bid Set	2023.07.27
No. Issue / Revision	Date
Drawn By:	LK
Checked By:	LH
Plot Date:	August 2, 2023

Sheet Number
A-110b
Sheet Title
Partial First Floor Plan

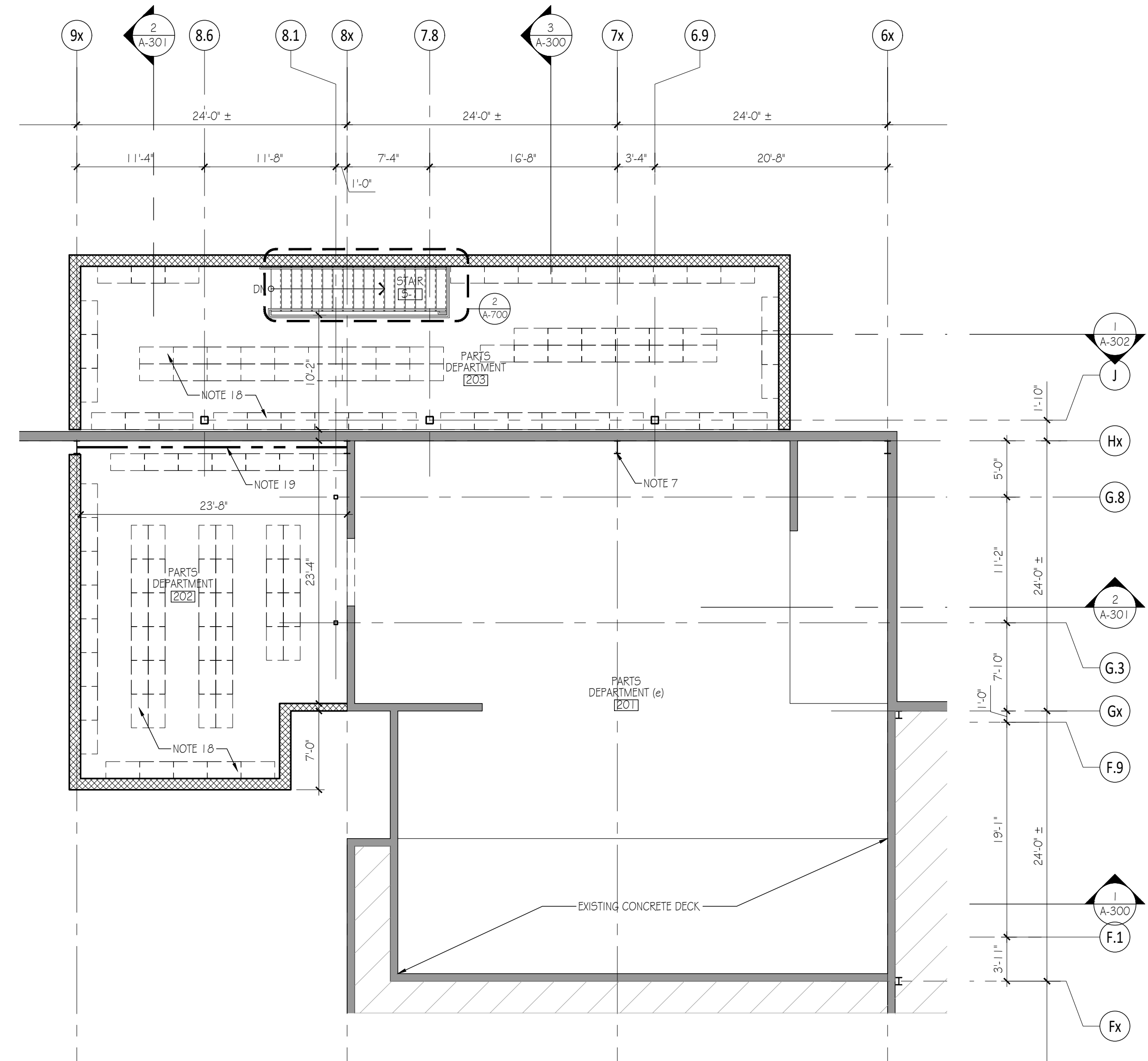
Project Number: CMA009a | File Name: A-110b.dwg

CMA's Honda of Winchester
Addition & Alteration
3985 Valley Pike
Winchester, VA 22602

CMA Properties

100 Myers Drive
Charlottesville, VA 22901

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1 MEZZANINE PLAN

Scale: 1/8" = 1'-0"

FLOOR PLAN NOTES		FLOOR PLAN LEGEND		KEY PLAN	GENERAL PLAN NOTES	NORTH ARROW & SCALE
1. HOSE BIB, SEE PLUMBING DRAWINGS.	12. BOLLARD - SEE DETAIL AA-500, TYP.		NEW DOOR & TAG - SEE DOOR SCHEDULE		<ul style="list-style-type: none"> FIRST FLOOR SLAB ELEVATION SHALL BE REFERRED TO AS 0'-0"; ALL ELEVATION HEIGHTS IN THE PROJECT ARE REFERENCED FROM SHOWROOM FINISHED FLOOR ELEVATION, U.O.N. ALL DIMENSIONS ARE TO FACE OF FINISHED SURFACE, UNLESS NOTED OTHERWISE ALL INTERIOR PARTITIONS ARE TYPE 1 U.O.N. OUTSIDE EDGE OF ALL DOOR FRAMES @ METAL STUD WALLS TO BE 3" FROM ADJACENT WALL, UNLESS NOTED OTHERWISE OUTSIDE EDGE OF ALL DOOR FRAMES @ ALL MASONRY WALLS TO BE 4" FROM ADJACENT WALL, UNLESS NOTED OTHERWISE SEE A-200 SERIES SHEET FOR EXTERIOR BUILDING ELEVATIONS SEE A-300 SERIES SHEETS FOR BUILDING & WALL SECTIONS SEE A-400 SERIES SHEETS FOR RESTROOM, MILLWORK & GLAZING DETAILS SEE A-500 SERIES SHEETS FOR TYPICAL & NOTED DETAILS (COLUMNS, BULKHEADS, ETC.) SEE A-600 SERIES SHEETS FOR MATERIAL, FINISH, DOOR & FURNITURE SCHEDULES SEE A-700 SERIES SHEETS FOR VERTICAL CIRCULATION DETAILS 	 1/8" = 1'-0"
2. APPROXIMATE LOCATION OF OWNER PROVIDED, WALL-MOUNTED T.V., G.C. SHALL COORDINATE WITH OWNER IN FIELD FOR LOCATION & PROVIDE BLOCKING (FR) AS REQUIRED.	13. COILING OVERHEAD DOORS; SEE DOOR SCHEDULE A-610.		EXISTING DOOR TO REMAIN			
3. EXISTING TRENCH DRAIN TO REMAIN.	14. EV CHARGER; SEE ELECTRICAL DRAWINGS.		EXISTING DOOR TO BE DEMOLISHED			
4. EXISTING LIFT TO REMAIN.	15. NEW MILLWORK; SEE DETAILS A-430.		NEW PARTITION - TYPE 1 U.O.N.			
5. CHAIN LINK FENCE W/ ROLLING GATE, G.C. SHALL COORDINATE FINAL HEIGHT & GATE OPENING SIZE WITH OWNER.	16. TIRE EQUIPMENT BY OWNER'S VENDOR; G.C. TO COORDINATE FINAL ELECTRICAL REQUIREMENTS.		EXISTING WALL/PARTITION TO REMAIN			
6. ABOVE-GROUND LIFT BY OWNER, G.C. SHALL COORDINATE CONC. EXPANSION JOINTS w/ FINAL LAYOUT REQUIREMENTS & OWNER'S VENDOR IN FIELD.	17. EXISTING COLUMNS TO REMAIN, CLEAN & PREP TO RECEIVE NEW FINISH, SEE FINISH PLAN.		EXISTING WALL/PARTITION TO BE DEMOLISHED			
7. FLOOR DRAIN, SEE PLUMBING DRAWINGS & TYPICAL DETAILS A-500.	18. PARTS BINS BY OWNER.		AREA NOT IN CONTRACT - NO WORK PROPOSED			
8. NON-PIPED EMERGENCY EYE WASH SINK AND LAUNDRY SINK, SEE PLUMBING DRAWINGS.	19. EXISTING X-BRACING TO REMAIN, TYP. CLEAN & PREP TO RECEIVE NEW PAINT.					
9. ALIGNMENT RACK w/ SLAB RECESS & FLOOR DRAIN- G.C. TO COORDINATE WITH OWNER, PROVIDED SPECIFICATION.						
10. LOCKERS BY OWNER.						
11. DUAL HEIGHT ACCESSIBLE WATER FOUNTAIN w/ WATER BOTTLE FILLER, SEE PLUMBING DRAWINGS.						
	*ALL FURNITURE IS BY OWNER AND IS SHOWN FOR REFERENCE ONLY					
	*NOT ALL NOTES APPLY TO EACH PLAN SHEET					

Bid Set	2023.07.27
No. Issue / Revision	Date

Drawn By: LK
Checked By: LH
Plot Date: August 2, 2023

Sheet Number
A-111
Sheet Title
Mezzanine Plan

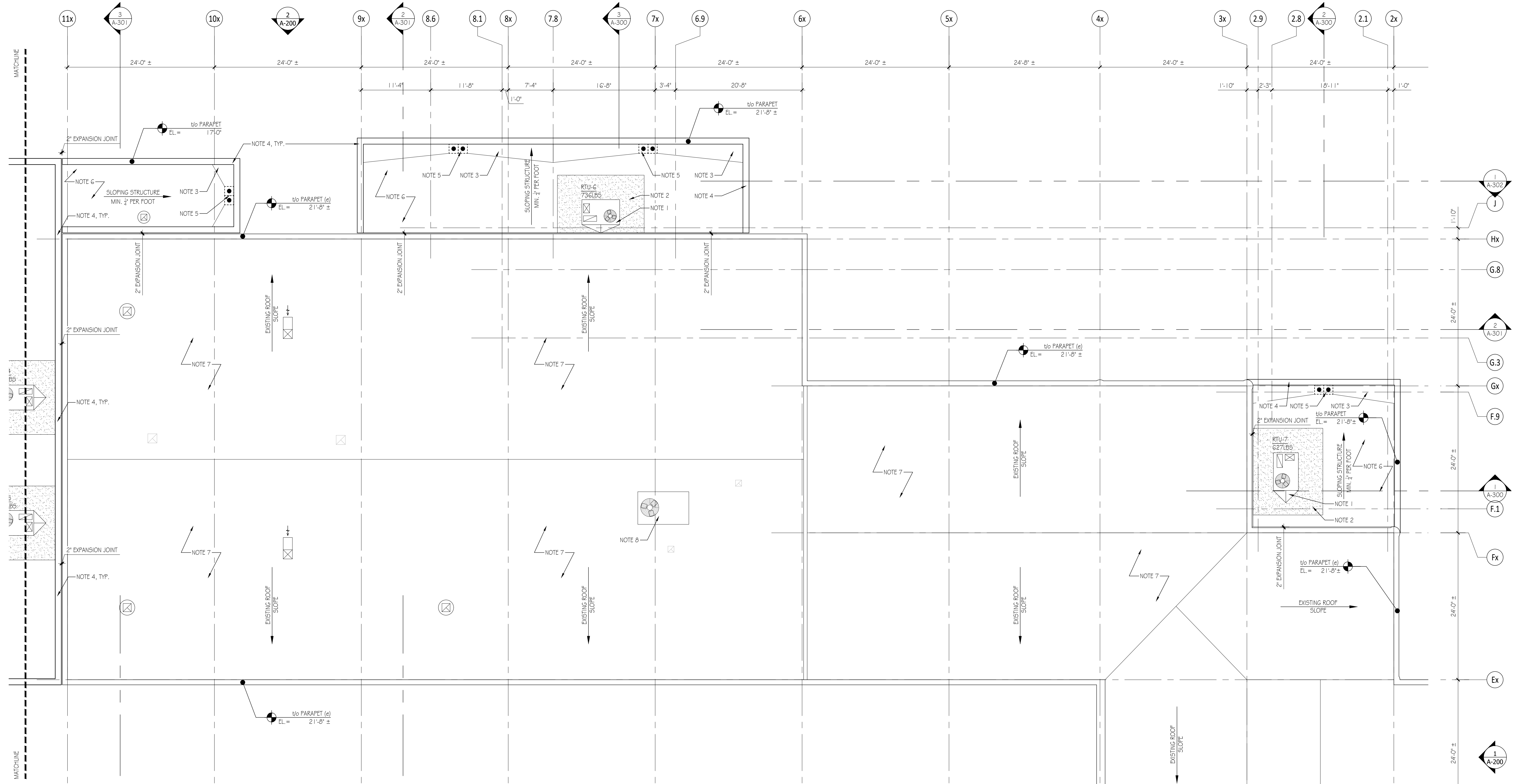
Project Number: CMA009a
File Name: A-111.dwg

CMA's Honda of Winchester
Addition & Alteration
3985 Valley Pike
Winchester, VA 22602

CMA Properties

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1 PARTIAL ROOF PLAN

Scale: 1/8" = 1'-0"

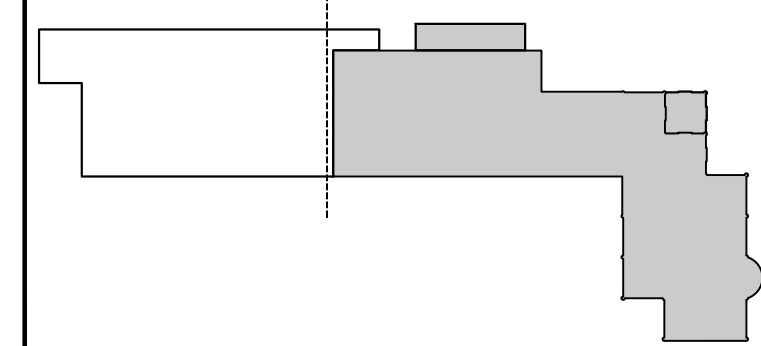
KEYED ROOF PLAN NOTES

1. RTU (SEE MECH DRAWINGS) w/ RIGID INSULATION ROOF CRICKET TO DIRECT FLOW OF WATER AROUND MECHANICAL UNIT, TYP.
2. DOUBLE LAYER ROOFING MEMBRANE AROUND MECHANICAL EQUIPMENT AND ROOF SERVICE PATH TYP.
3. RIGID INSULATION ROOF CRICKET TO DIRECT FLOW OF WATER TYP.
4. CONTINUOUS METAL COPING w/ HEMMED DRIP EDGE, TYP., SEE ELEVATIONS FOR FINISH SPECIFICATIONS.
5. ROOF DRAIN w/ EMERGENCY OVERFLOW DRAIN. SEE PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
6. SINGLE PLY, FULLY ADHERED WHITE TPO ROOF MEMBRANE w/ 60 MILLIMETER THICKNESS OVER 6" RIGID INSULATION (MIN. R-30).
7. EXISTING ROOFING TO REMAIN. G.C. TO INSPECT FOR DAMAGE AND/OR LEAKS AND REVIEW WITH OWNER/ARCHITECT PRIOR TO PROCEEDING WITH ANY WORK.
8. EXISTING ROOFTOP EQUIPMENT TO REMAIN.

GENERAL ROOF PLAN NOTES

- UNLESS NOTED OTHERWISE, PROVIDE ROOF SYSTEM AS FOLLOWS:
 - FIRESTONE ULTRAPLY TPO ROOFING SYSTEM - FULLY-ADHERED - WHITE MEMBRANE - 60 mil THICKNESS - MIN. 25 YEAR WARRANTY - PROVIDE ALL REED MATERIALS & ACCESSORIES PER MANUFACTURER SPECIFICATIONS & DETAILS AS REQD FOR WARRANTY TERM
 - PROVIDE CONTINUOUS INSULATION ENTIRELY ABOVE ROOF DECK - BASIS OF DESIGN: FIRESTONE ISO 95+ GL INSULATION - R-30
 - RIGID INSULATION ROOF CRICKETS SHALL BE PRE-SLOPED MIN. 1/4" PER FOOT BY THE INSULATION MANUFACTURER
 - PROVIDE DOUBLE LAYER ROOFING MEMBRANE AROUND LANDING, MECHANICAL EQUIPMENT AND ROOF SERVICE & WALKWAY PADS AS INDICATED ON THE PLANS
 - COORD. ALL PENETRATIONS w/ MEP & STRUCTURAL; FLASH & SEAL ALL PENETRATIONS ACCORDING TO MANUFACTURER'S SPECIFICATIONS & DETAILS AS REQD FOR WARRANTY TERM
 - PROVIDE 10'-0" MIN. FROM ANY EQUIPMENT THAT NEEDS SERVICE TO EDGE OF ROOF IF PARAPET IS LOWER THAN 42" HEIGHT FROM TOP OF ROOF INSULATION

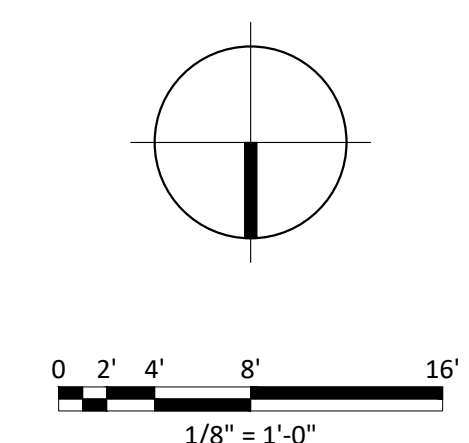
KEY PLAN



GENERAL PLAN NOTES

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- OUTSIDE EDGE OF ALL DOOR FRAMES @ ALL MASONRY WALLS TO BE 4" FROM ADJACENT WALL, UNLESS NOTED OTHERWISE
- SEE A-200 SERIES SHEET FOR EXTERIOR BUILDING ELEVATIONS
- SEE A-300 SERIES SHEETS FOR BUILDING & WALL SECTIONS
- SEE A-400 SERIES SHEETS FOR RESTROOM, MILLWORK & GLAZING DETAILS
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- SEE A-600 SERIES SHEETS FOR MATERIAL, FINISH, DOOR & FURNITURE SCHEDULES
- SEE A-700 SERIES SHEETS FOR VERTICAL CIRCULATION DETAILS

NORTH ARROW & SCALE



Bid Set	2023.07.27
No. / Issue / Revision	Date
Drawn By:	LK
Checked By:	LH
Plot Date:	August 2, 2023

Sheet Number
A-120a
Sheet Title
Partial Roof Plan

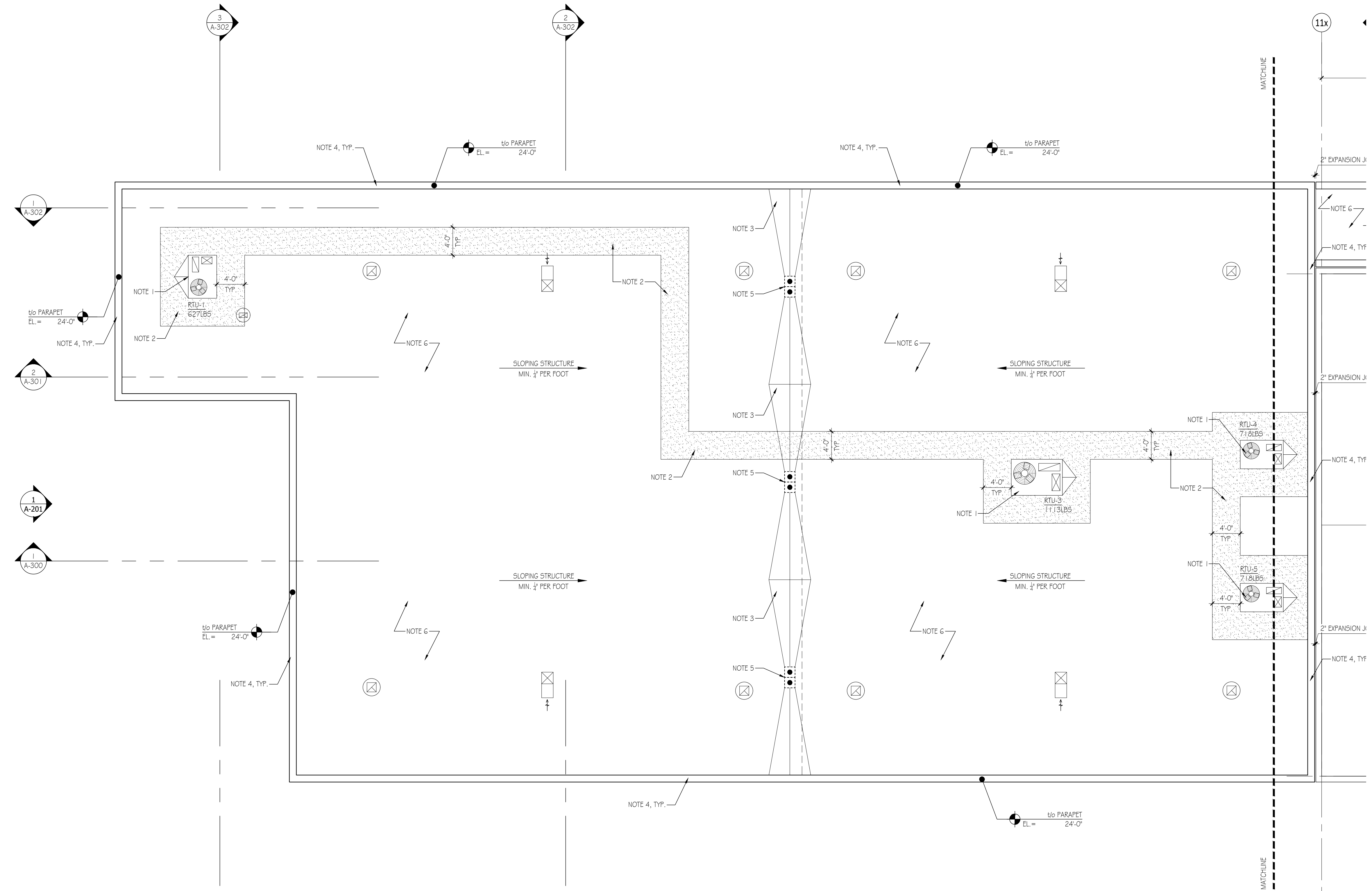
Project Number	File Name
CMA009a	A-120a.dwg

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1 PARTIAL ROOF PLAN

Scale: 1/8" = 1'-0"

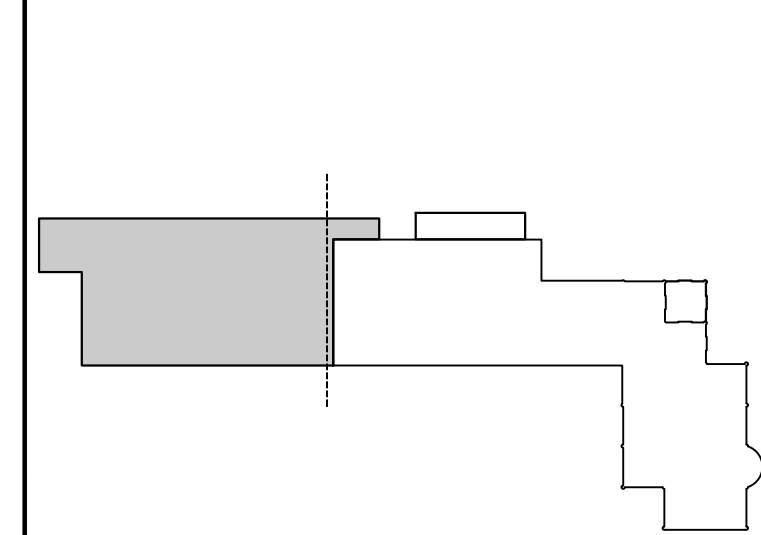
KEYED ROOF PLAN NOTES

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- ROOF DRAIN w/ EMERGENCY OVERFLOW DRAIN, SEE PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
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- EXISTING ROOFTOP EQUIPMENT TO REMAIN.

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 - PROVIDE DOUBLE LAYER ROOFING MEMBRANE AROUND LANDING, MECHANICAL EQUIPMENT AND ROOF SERVICE & WALKWAY PADS AS INDICATED ON THE PLANS
 - COORD. ALL PENETRATIONS w/ MEP & STRUCTURAL; FLASH & SEAL ALL PENETRATIONS ACCORDING TO MANUFACTURER'S SPECIFICATIONS & DETAILS AS REQD FOR WARRANTY TERM
 - PROVIDE 10'-0" MIN. FROM ANY EQUIPMENT THAT NEEDS SERVICE TO EDGE OF ROOF IF PARAPET IS LOWER THAN 42" HEIGHT FROM TOP OF ROOF INSULATION

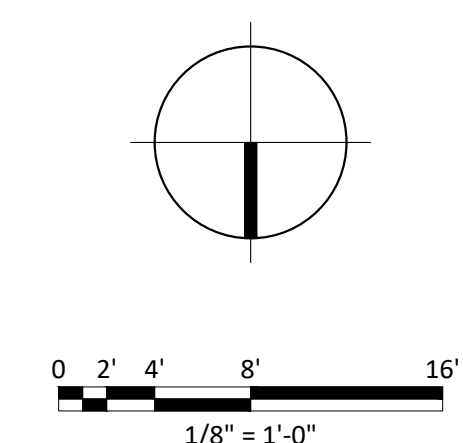
KEY PLAN



GENERAL PLAN NOTES

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- SEE A-200 SERIES SHEET FOR EXTERIOR BUILDING ELEVATIONS
- SEE A-300 SERIES SHEETS FOR BUILDING & WALL SECTIONS
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NORTH ARROW & SCALE



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No. / Issue / Revision	Date
Drawn By:	LK
Checked By:	LH
Plot Date:	August 2, 2023

Sheet Number
A-120b
Sheet Title
Partial Roof Plan

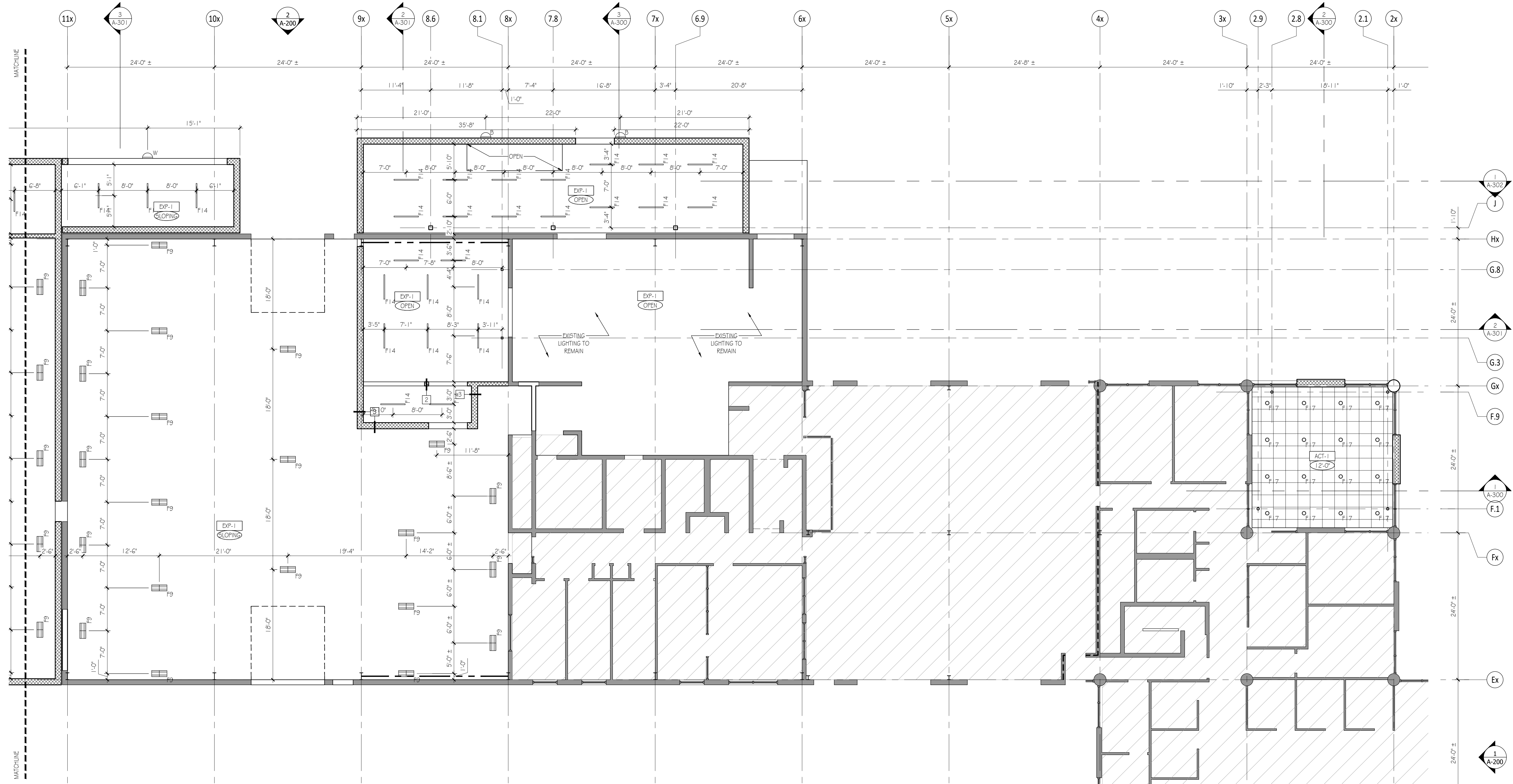
Project Number	File Name
CMA009a	A-120b.dwg

CMA's Honda of Winchester
Addition & Alteration
3985 Valley Pike
Winchester, VA 22602

CMA Properties

100 Myers Drive
Charlottesville, VA 22901

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1 PARTIAL REFLECTED CEILING PLAN

Scale: 1/16" = 1'-0"

LIGHTING FIXTURES			ARCHITECTURAL CEILING FINISHES		GENERAL RCP NOTES	KEY PLAN	GENERAL PLAN NOTES	NORTH ARROW & SCALE
SYMBOL	TAG	DESCRIPTION	ACT-1	ACOUSTIC CEILING TILE, 2' x 2'	<ul style="list-style-type: none"> PAINT FACE OF BULKHEADS SAME AS ADJACENT WALL U.N.O. CEILING TILE CONFIGURATION TO BE CENTERED WITHIN ENCLOSED ROOM U.N.O. SEE ELECTRICAL DRAWINGS FOR LIGHTING PLANS LOCATE SPRINKLER HEADS AT CENTER LINE OF 2X2 CEILING TILE OR AT THE CENTERLINE BETWEEN LIGHTS ALL SPRINKLER HEADS AT CUSTOMER AREAS SHOULD BE CONCEALED HEADS, U.N.O., G.C. TO COORDINATE SERVICE AND PARTS DEPARTMENT FIXTURE LOCATION CONTINGENT UPON STRUCTURE ABOVE. G.C. TO COORDINATE LAYOUT W/ OWNER AND ARCHITECT PRIOR TO INSTALLATION OF LIGHTS ALL LISTED CEILING HEIGHTS ARE COORDINATED TO THE FLOOR ELEVATION DIRECTLY BELOW 		<ul style="list-style-type: none"> FIRST FLOOR SLAB ELEVATION SHALL BE REFERRED TO AS 0'-0"; ALL ELEVATION HEIGHTS IN THE PROJECT ARE REFERENCED FROM SHOWROOM FINISHED FLOOR ELEVATION, U.O.N. ALL DIMENSIONS ARE TO FACE OF FINISHED SURFACE, UNLESS NOTED OTHERWISE ALL INTERIOR PARTITIONS ARE TYPE 1 U.O.N. OUTSIDE EDGE OF ALL DOOR FRAMES @ METAL STUD WALLS TO BE 3" FROM ADJACENT WALL, UNLESS NOTED OTHERWISE OUTSIDE EDGE OF ALL DOOR FRAMES @ ALL MASONRY WALLS TO BE 4" FROM ADJACENT WALL, UNLESS NOTED OTHERWISE SEE A-200 SERIES SHEET FOR EXTERIOR BUILDING ELEVATIONS SEE A-300 SERIES SHEETS FOR BUILDING 4 WALL SECTIONS SEE A-400 SERIES SHEETS FOR RESTROOM, MILLWORK & GLAZING DETAILS SEE A-500 SERIES SHEETS FOR TYPICAL 4 NOTED DETAILS (COLUMNS, BULKHEADS, ETC.) SEE A-600 SERIES SHEETS FOR MATERIAL, FINISH, DOOR & FURNITURE SCHEDULES SEE A-700 SERIES SHEETS FOR VERTICAL CIRCULATION DETAILS 	
	F1	2x4 LED DIRECT/INDIRECT	GYP-1	GYPSUM BOARD TO BE PAINTED AS NOTED				
	F9	LED HIGH-BAY FIXTURE	EXP-1	EXPOSED CEILING TO BE PAINTED				
	F14	4' LED STRIP FIXTURE						
	F14A	4' LED STRIP FIXTURE, EXTERIOR						
	F17	6' LED RECESSED DOWNLIGHT						
	W	EXTERIOR WALL PACK						

*ALL CEILING TILES ARE CENTERED IN SPACES U.N.O.

Bid Set 2023.07.27
No. Issue / Revision Date
Drawn By: LK
Checked By: LH
Plot Date: August 2, 2023

Sheet Number
A-130a
Sheet Title
Partial Reflected Ceiling Plan

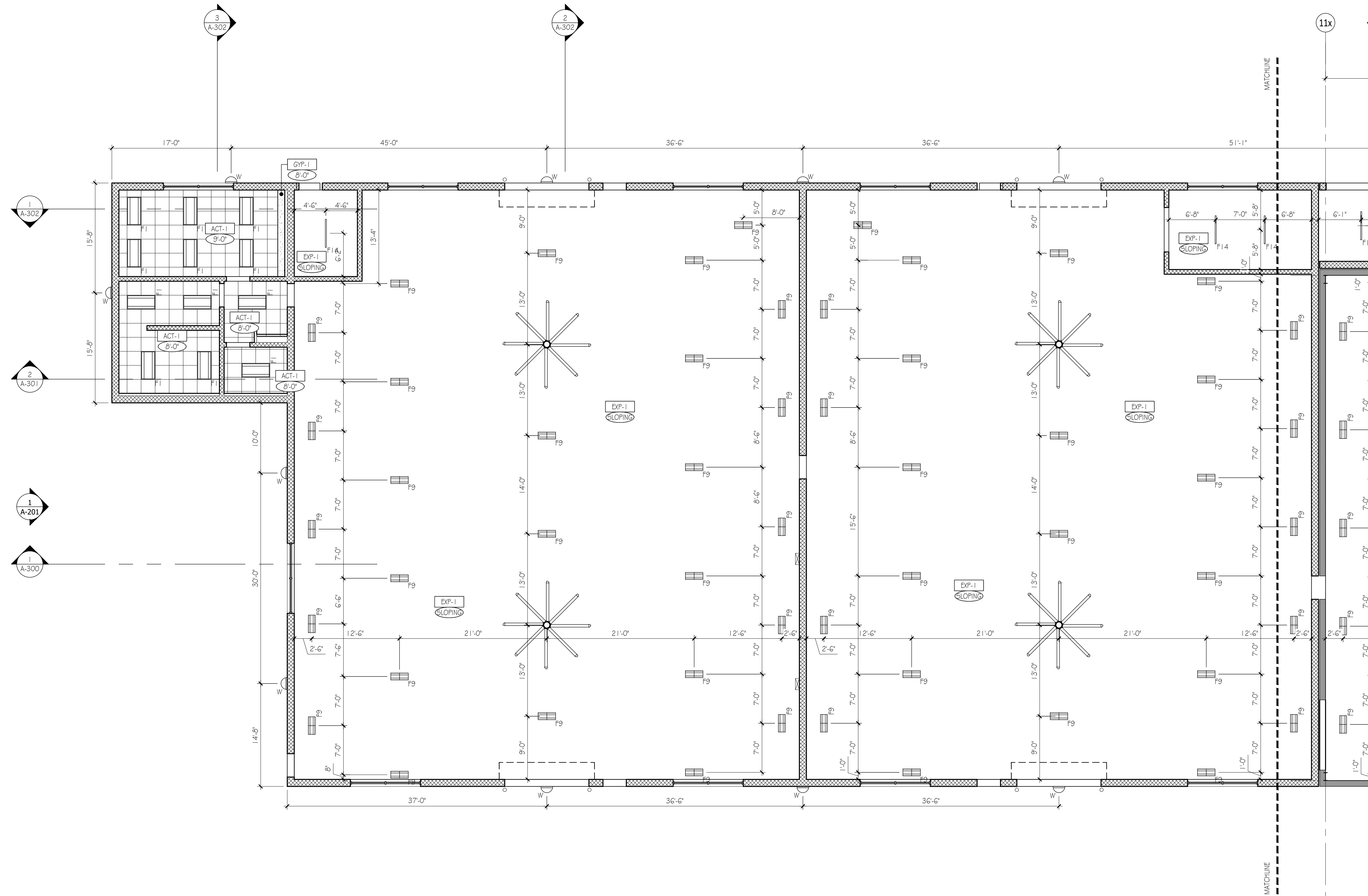
Project Number CMA009a File Name A-130a.dwg

CMA's Honda of Winchester
Addition & Alteration
3985 Valley Pike
Winchester, VA 22602

CMA Properties

100 Myers Drive
Charlottesville, VA 22901

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1 PARTIAL REFLECTED CEILING PLAN

Scale: 1/16" = 1'-0"

LIGHTING FIXTURES			ARCHITECTURAL CEILING FINISHES		GENERAL RCP NOTES	KEY PLAN	GENERAL PLAN NOTES	NORTH ARROW & SCALE
SYMBOL	TAG	DESCRIPTION	ACT-1	ACOUSTIC CEILING TILE, 2' x 2'	<ul style="list-style-type: none"> PAINT FACE OF BULKHEADS SAME AS ADJACENT WALL U.N.O. CEILING TILE CONFIGURATION TO BE CENTERED WITHIN ENCLOSED ROOM U.N.O. SEE ELECTRICAL DRAWINGS FOR LIGHTING PLANS LOCATE SPRINKLER HEADS AT CENTER LINE OF 2X2 CEILING TILE OR AT THE CENTERLINE BETWEEN LIGHTS ALL SPRINKLER HEADS AT CUSTOMER AREAS SHOULD BE CONCEALED HEADS, U.N.O., G.C. TO COORDINATE SERVICE AND PARTS DEPARTMENT FIXTURE LOCATION CONTINGENT UPON STRUCTURE ABOVE. G.C. TO COORDINATE LAYOUT W/ OWNER AND ARCHITECT PRIOR TO INSTALLATION OF LIGHTS ALL LISTED CEILING HEIGHTS ARE COORDINATED TO THE FLOOR ELEVATION DIRECTLY BELOW 		<ul style="list-style-type: none"> FIRST FLOOR SLAB ELEVATION SHALL BE REFERRED TO AS 0'-0"; ALL ELEVATION HEIGHTS IN THE PROJECT ARE REFERENCED FROM SHOWROOM FINISHED FLOOR ELEVATION, U.O.N. ALL DIMENSIONS ARE TO FACE OF FINISHED SURFACE, UNLESS NOTED OTHERWISE ALL INTERIOR PARTITIONS ARE TYPE 1 U.O.N. OUTSIDE EDGE OF ALL DOOR FRAMES @ METAL STUD WALLS TO BE 3" FROM ADJACENT WALL, UNLESS NOTED OTHERWISE OUTSIDE EDGE OF ALL DOOR FRAMES @ ALL MASONRY WALLS TO BE 4" FROM ADJACENT WALL, UNLESS NOTED OTHERWISE SEE A-200 SERIES SHEET FOR EXTERIOR BUILDING ELEVATIONS SEE A-300 SERIES SHEETS FOR BUILDING 4 WALL SECTIONS SEE A-400 SERIES SHEETS FOR RESTROOM, MILLWORK & GLAZING DETAILS SEE A-500 SERIES SHEETS FOR TYPICAL 4 NOTED DETAILS (COLUMNS, BULKHEADS, ETC.) SEE A-600 SERIES SHEETS FOR MATERIAL, FINISH, DOOR & FURNITURE SCHEDULES SEE A-700 SERIES SHEETS FOR VERTICAL CIRCULATION DETAILS 	
	F1	2x4 LED DIRECT/INDIRECT	GYP-1	GYPSUM BOARD TO BE PAINTED AS NOTED				
	F9	LED HIGH-BAY FIXTURE	EXP-1	EXPOSED CEILING TO BE PAINTED				
	F14	4' LED STRIP FIXTURE						
	F14A	4' LED STRIP FIXTURE, EXTERIOR						
	F17	6' LED RECESSED DOWNLIGHT						
	W	EXTERIOR WALL PACK						

*ALL CEILING TILES ARE CENTERED IN SPACES U.N.O.

Bid Set 2023.07.27
No. Issue / Revision Date
Drawn By: LK
Checked By: LH
Plot Date: August 2, 2023

Sheet Number
A-130b
Sheet Title
Partial Reflected Ceiling Plan

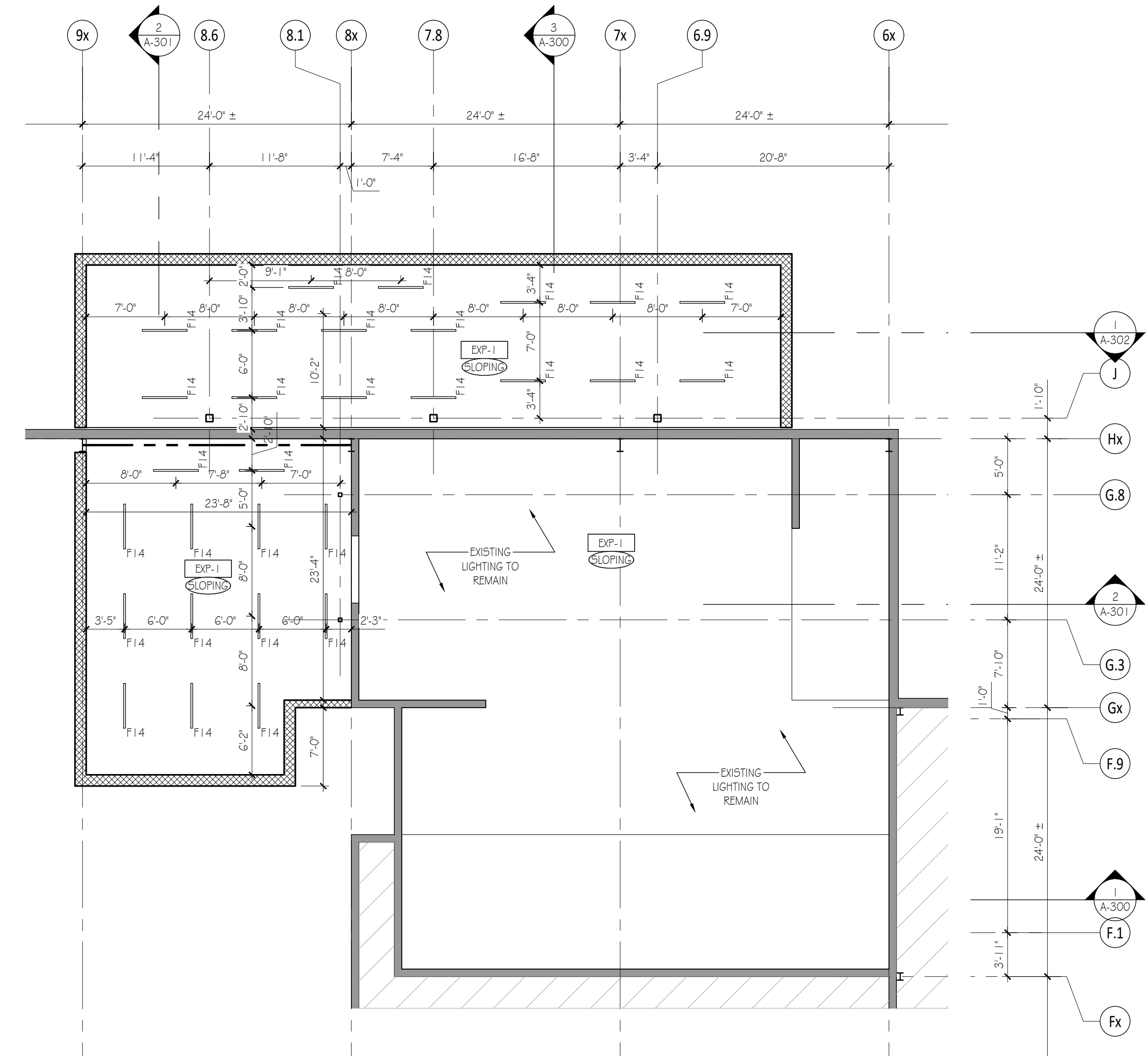
Project Number CMA009a File Name A-130b.dwg

CMA's Honda of Winchester
Addition & Alteration
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Winchester, VA 22602

CMA Properties

100 Myers Drive
Charlottesville, VA 22901

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1 MEZZANINE REFLECTED CEILING PLAN
Scale: 1/8" = 1'-0"

LIGHTING FIXTURES			ARCHITECTURAL CEILING FINISHES		GENERAL RCP NOTES	KEY PLAN	GENERAL PLAN NOTES	NORTH ARROW & SCALE
SYMBOL	TAG	DESCRIPTION	ACT-1	ACOUSTIC CEILING TILE, 2' x 2'	<ul style="list-style-type: none"> PAIN FACE OF BULKHEADS SAME AS ADJACENT WALL U.N.O. CEILING TILE CONFIGURATION TO BE CENTERED WITHIN ENCLOSED ROOM U.N.O. SEE ELECTRICAL DRAWINGS FOR LIGHTING PLANS LOCATE SPRINKLER HEADS AT CENTER LINE OF 2X2 CEILING TILE OR AT THE CENTERLINE BETWEEN LIGHTS ALL SPRINKLER HEADS AT CUSTOMER AREAS SHOULD BE CONCEALED HEADS, U.N.O., G.C. TO COORDINATE SERVICE AND PARTS DEPARTMENT FIXTURE LOCATION CONTINGENT UPON STRUCTURE ABOVE. G.C. TO COORDINATE LAYOUT W/ OWNER AND ARCHITECT PRIOR TO INSTALLATION OF LIGHTS ALL LISTED CEILING HEIGHTS ARE COORDINATED TO THE FLOOR ELEVATION DIRECTLY BELOW 		<ul style="list-style-type: none"> FIRST FLOOR SLAB ELEVATION SHALL BE REFERRED TO AS 0'-0"; ALL ELEVATION HEIGHTS IN THE PROJECT ARE REFERENCED FROM SHOWROOM FINISHED FLOOR ELEVATION, U.O.N. ALL DIMENSIONS ARE TO FACE OF FINISHED SURFACE, UNLESS NOTED OTHERWISE ALL INTERIOR PARTITIONS ARE TYPE 1 U.O.N. OUTSIDE EDGE OF ALL DOOR FRAMES @ METAL STUD WALLS TO BE 3" FROM ADJACENT WALL, UNLESS NOTED OTHERWISE OUTSIDE EDGE OF ALL DOOR FRAMES @ ALL MASONRY WALLS TO BE 4" FROM ADJACENT WALL, UNLESS NOTED OTHERWISE SEE A-200 SERIES SHEET FOR EXTERIOR BUILDING ELEVATIONS SEE A-300 SERIES SHEETS FOR BUILDING 4 WALL SECTIONS SEE A-400 SERIES SHEETS FOR RESTROOM, MILLWORK & GLAZING DETAILS SEE A-500 SERIES SHEETS FOR TYPICAL 4 NOTED DETAILS (COLUMNS, BULKHEADS, ETC.) SEE A-600 SERIES SHEETS FOR MATERIAL, FINISH, DOOR & FURNITURE SCHEDULES SEE A-700 SERIES SHEETS FOR VERTICAL CIRCULATION DETAILS 	
	F1	2x4 LED DIRECT/INDIRECT	GYP-1	GYPSUM BOARD TO BE PAINTED AS NOTED				
	F9	LED HIGH-BAY FIXTURE	EXP-1	EXPOSED CEILING TO BE PAINTED				
	F14	4' LED STRIP FIXTURE						
	F14A	4' LED STRIP FIXTURE, EXTERIOR						
	F17	6' LED RECESSED DOWNLIGHT						
	W	EXTERIOR WALL PACK						
			*ALL CEILING TILES ARE CENTERED IN SPACES U.N.O.					

Bid Set 2023.07.27
No. Issue / Revision Date

Drawn By: LK

Checked By: LH

Plot Date: August 2, 2023

Sheet Number
A-131
Sheet Title
Mezz. Reflected Ceiling Plan

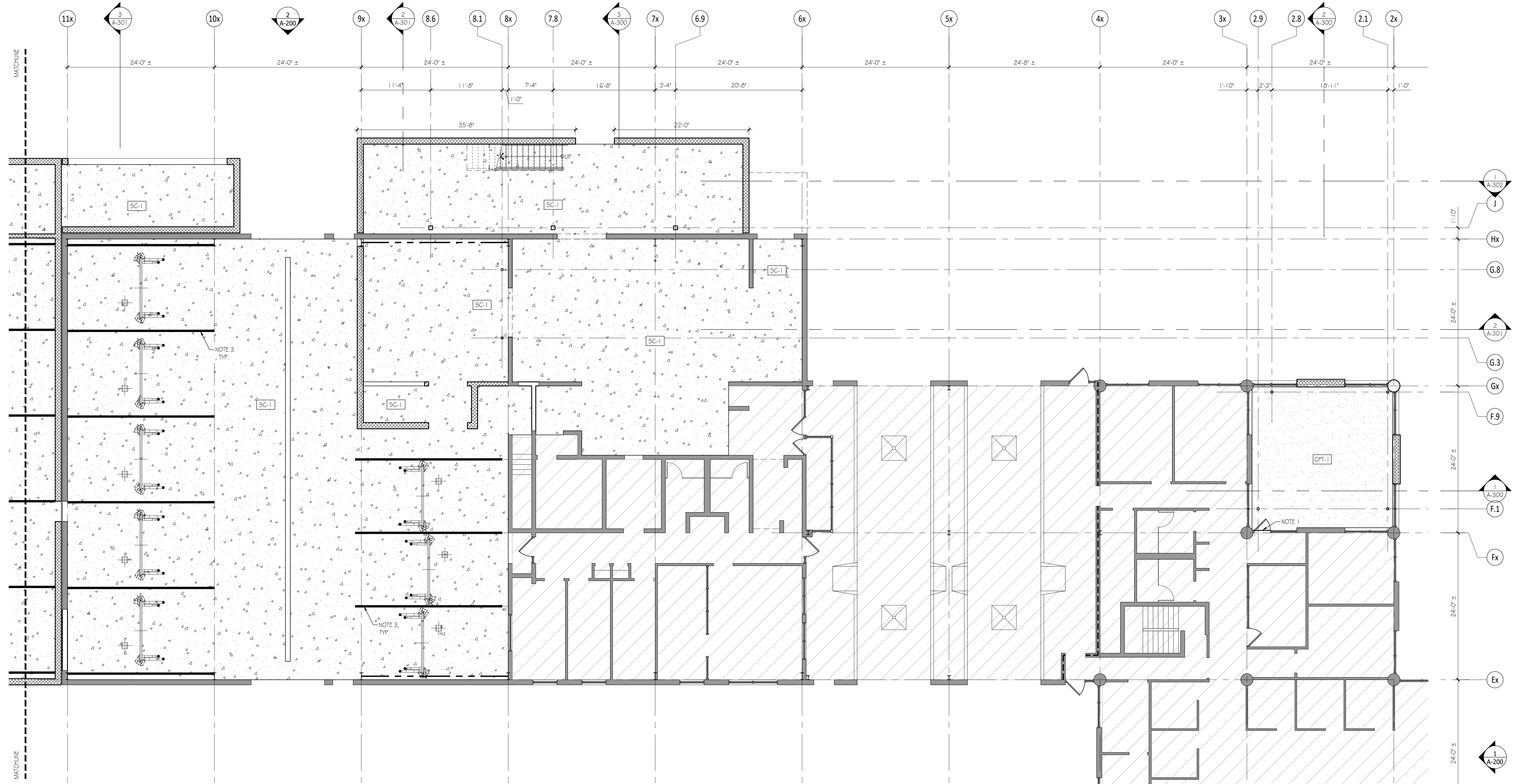
Project Number: CMA009a
File Name: A-131.dwg

CMA's Honda of Winchester
Addition & Alteration
3985 Valley Pike
Winchester, VA 22602

CMA Properties

100 Myers Drive
Charlottesville, VA 22901

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1 PARTIAL FINISH FLOOR PLAN

Scale: 1/8" = 1'-0"

KEYED FINISH PLAN NOTES	FINISH PLAN LEGEND	KEY PLAN	GENERAL PLAN NOTES	NORTH ARROW & SCALE								
<ol style="list-style-type: none"> SEE A-610 DOOR SCHEDULE FOR THRESHOLD TYPE. TILE STARTING POINT. 4" BLACK FLOOR STRIPING FOR STALL DELINEATION. 	<table border="1"> <tr> <td></td> <td>CPT-1 CARPET TILE</td> </tr> <tr> <td></td> <td>VCT-1 VINYL COMPOSITION TILE</td> </tr> <tr> <td></td> <td>CT-1 12X24" PORCELAIN FLOOR TILE; RUNNING BOND</td> </tr> <tr> <td></td> <td>SC-1 SEALED CONCRETE</td> </tr> </table>		CPT-1 CARPET TILE		VCT-1 VINYL COMPOSITION TILE		CT-1 12X24" PORCELAIN FLOOR TILE; RUNNING BOND		SC-1 SEALED CONCRETE		<ul style="list-style-type: none"> FIRST FLOOR SLAB ELEVATION SHALL BE REFERRED TO AS 0'-0"; ALL ELEVATION HEIGHTS IN THE PROJECT ARE REFERENCED FROM SHOWROOM FINISHED FLOOR ELEVATION, U.O.N. ALL DIMENSIONS ARE TO FACE OF FINISHED SURFACE, UNLESS NOTED OTHERWISE ALL INTERIOR PARTITIONS ARE TYPE 1 U.O.N. OUTSIDE EDGE OF ALL DOOR FRAMES @ METAL STUD WALLS TO BE 3" FROM ADJACENT WALL, UNLESS NOTED OTHERWISE OUTSIDE EDGE OF ALL DOOR FRAMES @ ALL MASONRY WALLS TO BE 4" FROM ADJACENT WALL, UNLESS NOTED OTHERWISE SEE A-200 SERIES SHEET FOR EXTERIOR BUILDING ELEVATIONS SEE A-300 SERIES SHEETS FOR BUILDING 4 WALL SECTIONS SEE A-400 SERIES SHEETS FOR RESTROOM, MILLWORK & GLAZING DETAILS SEE A-500 SERIES SHEETS FOR TYPICAL 4 NOTED DETAILS (COLUMNS, BULKHEADS, ETC.) SEE A-600 SERIES SHEETS FOR MATERIAL, FINISH, DOOR & FURNITURE SCHEDULES SEE A-700 SERIES SHEETS FOR VERTICAL CIRCULATION DETAILS 	<p>1/16" = 1'-0"</p>
	CPT-1 CARPET TILE											
	VCT-1 VINYL COMPOSITION TILE											
	CT-1 12X24" PORCELAIN FLOOR TILE; RUNNING BOND											
	SC-1 SEALED CONCRETE											

Bid Set	2023.07.27
No. / Issue / Revision	Date
Drawn By:	LK
Checked By:	LH
Plot Date:	August 2, 2023

Sheet Number
A-140a
Sheet Title
Partial First Floor Finish Plan

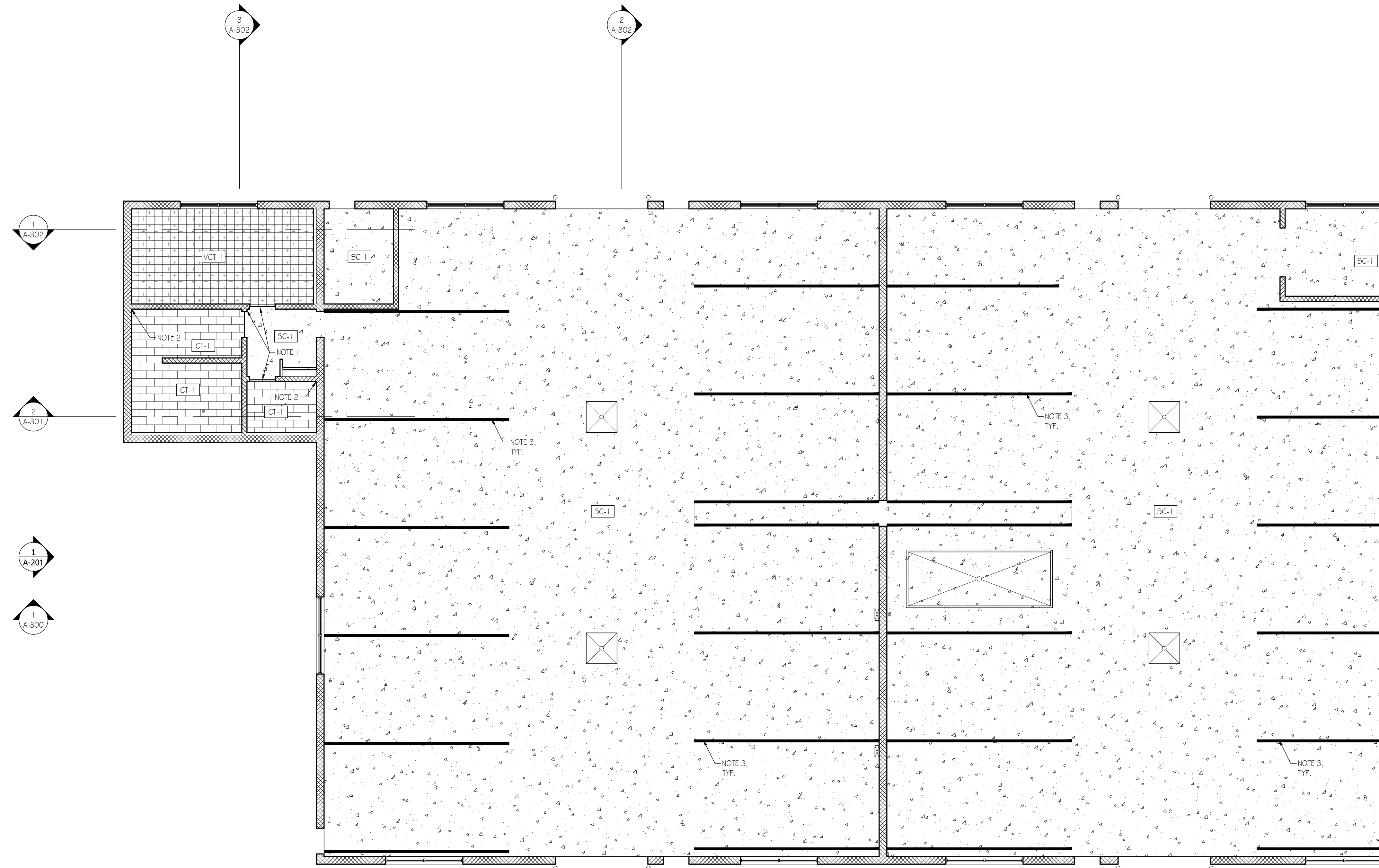
Project Number	File Name
CMA009a	A-140a.dwg

CMA's Honda of Winchester
Addition & Alteration
3985 Valley Pike
Winchester, VA 22602

CMA Properties

100 Myers Drive
Charlottesville, VA 22901

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1 PARTIAL FINISH FLOOR PLAN

Scale: 1/8" = 1'-0"

	KEYED FINISH PLAN NOTES	FINISH PLAN LEGEND	KEY PLAN	GENERAL PLAN NOTES	NORTH ARROW & SCALE								
	<ol style="list-style-type: none"> SEE A-610 DOOR SCHEDULE FOR THRESHOLD TYPE. TILE STARTING POINT. 4" BLACK FLOOR STRIPING FOR STALL DELINEATION. 	<table border="1"> <tr> <td></td> <td>CPT-1 CARPET TILE</td> </tr> <tr> <td></td> <td>VCT-1 VINYL COMPOSITION TILE</td> </tr> <tr> <td></td> <td>CT-1 12"x24" PORCELAIN FLOOR TILE; RUNNING BOND</td> </tr> <tr> <td></td> <td>SC-1 SEALED CONCRETE</td> </tr> </table>		CPT-1 CARPET TILE		VCT-1 VINYL COMPOSITION TILE		CT-1 12"x24" PORCELAIN FLOOR TILE; RUNNING BOND		SC-1 SEALED CONCRETE		<ul style="list-style-type: none"> FIRST FLOOR SLAB ELEVATION SHALL BE REFERRED TO AS 0'-0"; ALL ELEVATION HEIGHTS IN THE PROJECT ARE REFERENCED FROM SHOWROOM FINISHED FLOOR ELEVATION, U.O.N. ALL DIMENSIONS ARE TO FACE OF FINISHED SURFACE, UNLESS NOTED OTHERWISE ALL INTERIOR PARTITIONS ARE TYPE 1 U.O.N. OUTSIDE EDGE OF ALL DOOR FRAMES @ METAL STUD WALLS TO BE 3" FROM ADJACENT WALL, UNLESS NOTED OTHERWISE OUTSIDE EDGE OF ALL DOOR FRAMES @ ALL MASONRY WALLS TO BE 4" FROM ADJACENT WALL, UNLESS NOTED OTHERWISE SEE A-200 SERIES SHEET FOR EXTERIOR BUILDING ELEVATIONS SEE A-300 SERIES SHEETS FOR BUILDING 4 WALL SECTIONS SEE A-400 SERIES SHEETS FOR RESTROOM, MILLWORK & GLAZING DETAILS SEE A-500 SERIES SHEETS FOR TYPICAL 4 NOTED DETAILS (COLUMNS, BULKHEADS, ETC.) SEE A-600 SERIES SHEETS FOR MATERIAL, FINISH, DOOR & FURNITURE SCHEDULES SEE A-700 SERIES SHEETS FOR VERTICAL CIRCULATION DETAILS 	
	CPT-1 CARPET TILE												
	VCT-1 VINYL COMPOSITION TILE												
	CT-1 12"x24" PORCELAIN FLOOR TILE; RUNNING BOND												
	SC-1 SEALED CONCRETE												
	Project Number CMA009a	File Name A-140b.dwg											

Bid Set 2023.07.27

No. Issue / Revision Date

Drawn By: LK

Checked By: LH

Plot Date: August 2, 2023

Sheet Number

A-140b

Sheet Title

**Partial First Floor
Finish Plan**

Project Number

CMA009a

File Name

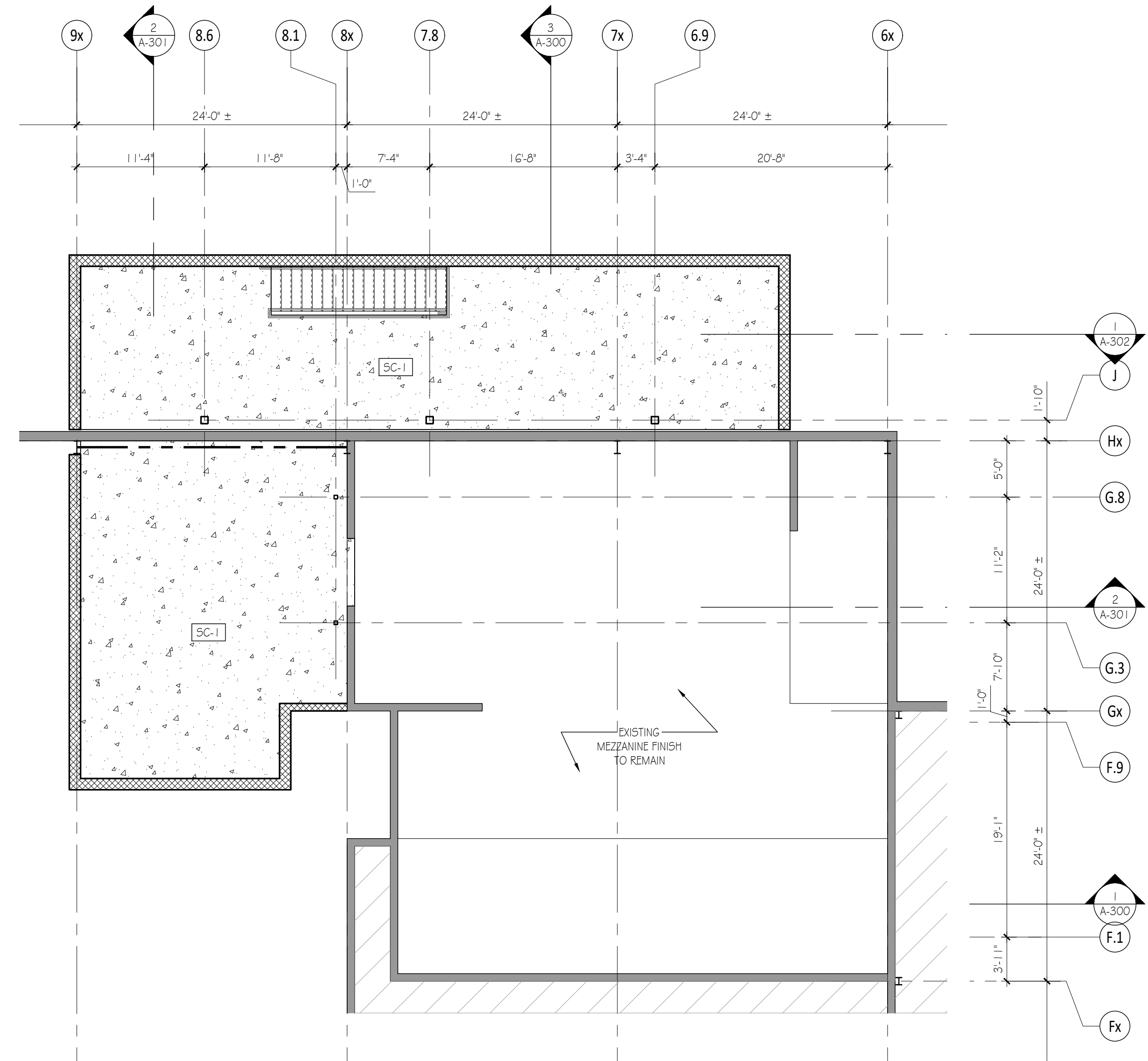
A-140b.dwg

CMA's Honda of Winchester
Addition & Alteration
3985 Valley Pike
Winchester, VA 22602

CMA Properties

100 Myers Drive
Charlottesville, VA 22901

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1 MEZZANINE FINISH PLAN

Scale: 1/8" = 1'-0"

KEYED FINISH PLAN NOTES

- SEE A-610 DOOR SCHEDULE FOR THRESHOLD TYPE.
- TILE STARTING POINT.
- 4" BLACK FLOOR STRIPING FOR STALL DELINEATION.

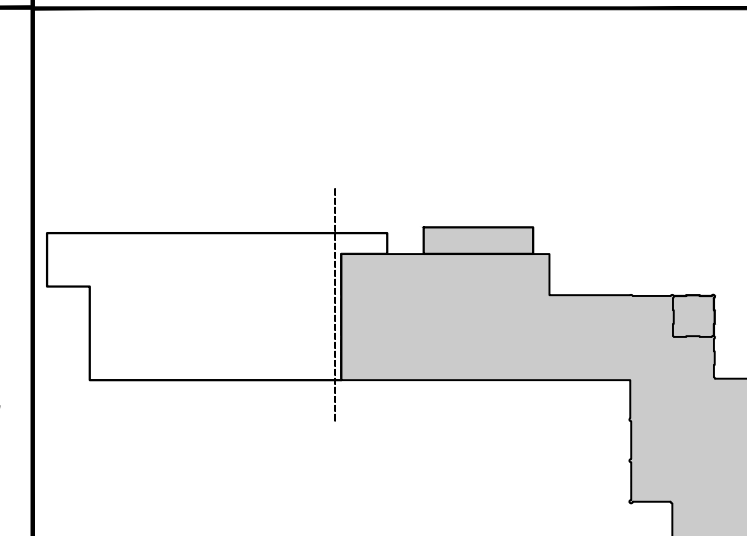
FINISH PLAN LEGEND

	OPT-1 CARPET TILE
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	CT-1 12X24" PORCELAIN FLOOR TILE; RUNNING BOND
	SC-1 SEALED CONCRETE

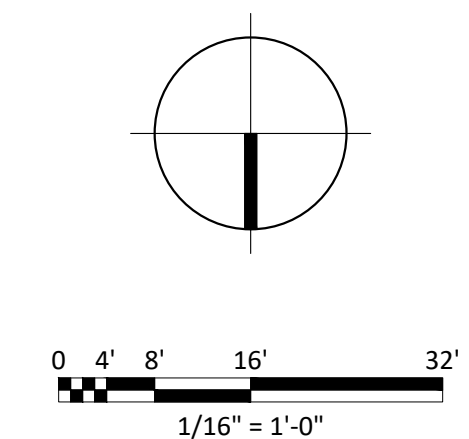
GENERAL PLAN NOTES

- FIRST FLOOR SLAB ELEVATION SHALL BE REFERRED TO AS 0'-0"; ALL ELEVATION HEIGHTS IN THE PROJECT ARE REFERENCED FROM SHOWROOM FINISHED FLOOR ELEVATION, U.O.N.
- ALL DIMENSIONS ARE TO FACE OF FINISHED SURFACE, UNLESS NOTED OTHERWISE
- ALL INTERIOR PARTITIONS ARE TYPE 1 U.O.N.
- OUTSIDE EDGE OF ALL DOOR FRAMES @ METAL STUD WALLS TO BE 3" FROM ADJACENT WALL, UNLESS NOTED OTHERWISE
- OUTSIDE EDGE OF ALL DOOR FRAMES @ ALL MASONRY WALLS TO BE 4" FROM ADJACENT WALL, UNLESS NOTED OTHERWISE
- SEE A-200 SERIES SHEET FOR EXTERIOR BUILDING ELEVATIONS
- SEE A-300 SERIES SHEETS FOR BUILDING 4 WALL SECTIONS
- SEE A-400 SERIES SHEETS FOR RESTROOM, MILLWORK & GLAZING DETAILS
- SEE A-500 SERIES SHEETS FOR TYPICAL & NOTED DETAILS (COLUMNS, BULKHEADS, ETC.)
- SEE A-600 SERIES SHEETS FOR MATERIAL, FINISH, DOOR & FURNITURE SCHEDULES
- SEE A-700 SERIES SHEETS FOR VERTICAL CIRCULATION DETAILS

KEY PLAN



NORTH ARROW & SCALE



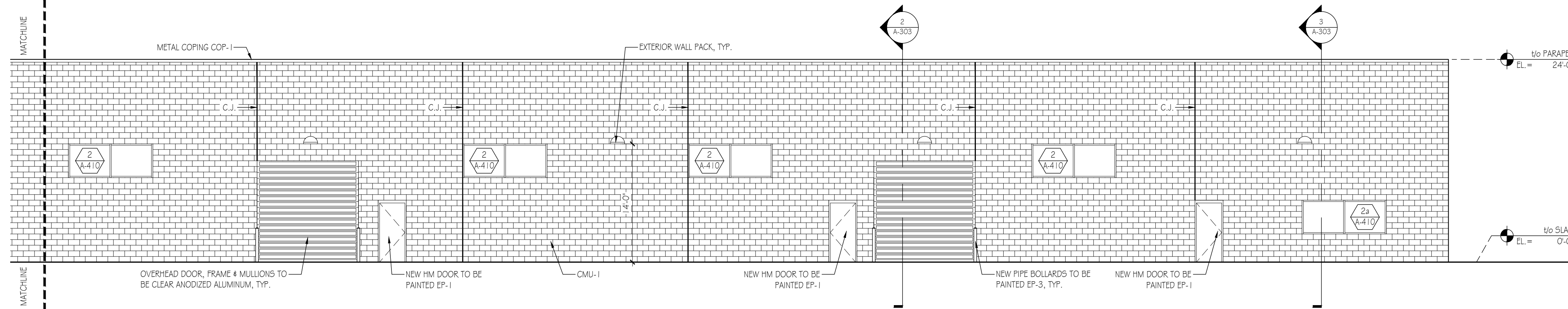
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No. Issue / Revision	Date
Drawn By:	LK
Checked By:	LH
Plot Date:	August 2, 2023

Sheet Number
A-141
Sheet Title
**Mezzanine
Finish Plan**

Project Number CMA009a	File Name A-141.dwg
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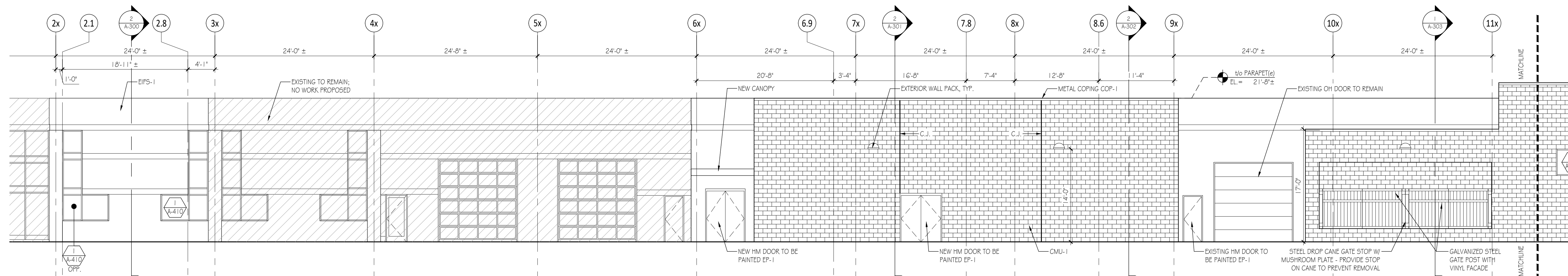
EXTERIOR MATERIALS SCHEDULE

TAG	TYPE	SPECIFICATION	REMARKS
CMU-1	SPLITFACE CMU	ANCHOR CONCRETE PRODUCTS (OLD CASTLE ARCHITECTURAL BRAND) - ANCHOR SPLIT FACE BLOCK - COLOR: 50-36 - USE WITH LEHIGH MASONRY CEMENT	MORTAR TO MATCH BLOCK COLOR
EIFS-1	EXTERIOR INSULATION FINISHING SYSTEM	DRYVIT - HONDA CHINA WHITE #HONDG1021 - SANDBLAST FINISH	
EP-1	EXTERIOR PAINT	BENJAMIN MOORE - PRIMER: SUPER SPEC HP UNIVERSAL ALKYD METAL PRIMER #P07, PAINT: AURA WATERBORNE EXTERIOR PAINT: SEMI-GLOSS FINISH #G32, COLOR: 1B ALABASTER #B7G	USE ON EXTERIOR METAL DOORS
EP-3	EXTERIOR PAINT	BENJAMIN MOORE - PRIMER: SUPER SPEC HP UNIVERSAL ALKYD METAL PRIMER #P07, PAINT: AURA WATERBORNE EXTERIOR PAINT: SEMI-GLOSS FINISH #G32, COLOR: SAFETY YELLOW (HIGH VISIBILITY)	USE ON BOLLARDS
COP-1	PRE-FORMED METAL COPING w/ HEMMED DRIP EDGE	FAC-CLAD; STONE WHITE	@ CMU-1
COP-2	PRE-FORMED METAL COPING w/ HEMMED DRIP EDGE	FAC-CLAD; BONE WHITE	@ EIFS-1



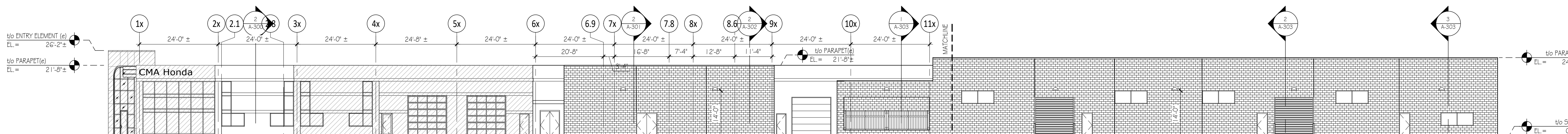
2B PARTIAL SOUTH ELEVATION

Scale: 1/8" = 1'-0"



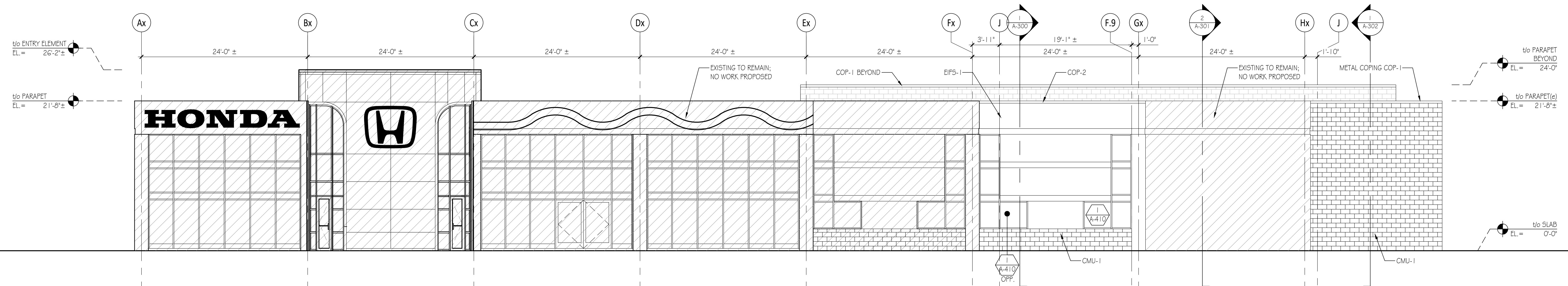
2A PARTIAL SOUTH ELEVATION

Scale: 1/8" = 1'-0"



2 OVERALL SOUTH ELEVATION

Scale: 1/16" = 1'-0"

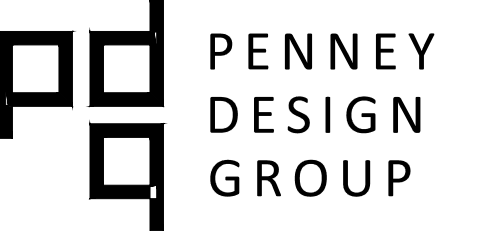


1 WEST ELEVATION

Scale: 1/8" = 1'-0"

EXTERIOR MATERIALS SCHEDULE

TAG	TYPE	SPECIFICATION	REMARKS
CMU-1	SPLITFACE CMU	ANCHOR CONCRETE PRODUCTS (OLD CASTLE ARCHITECTURAL BRAND) - ANCHOR SPLIT FACE BLOCK - COLOR: 50-36 - USE WITH LEHIGH MASONRY CEMENT	MORTAR TO MATCH BLOCK COLOR
EIFS-1	EXTERIOR INSULATION FINISHING SYSTEM	DRYVIT - HONDA CHINA WHITE #HONDOG1021 - SANDBLAST FINISH	
EP-1	EXTERIOR PAINT	BENJAMIN MOORE - PRIMER: SUPER SPEC HP UNIVERSAL ALKYD METAL PRIMER #P07, PAINT: AURA WATERBORNE EXTERIOR PAINT: SEMI-GLOSS FINISH #G32, COLOR: 1B ALABASTER #976	USE ON EXTERIOR METAL DOORS
EP-3	EXTERIOR PAINT	BENJAMIN MOORE - PRIMER: SUPER SPEC HP UNIVERSAL ALKYD METAL PRIMER #P07, PAINT: AURA WATERBORNE EXTERIOR PAINT: SEMI-GLOSS FINISH #G32, COLOR: SAFETY YELLOW (HIGH VISIBILITY)	USE ON BOLLARDS
COP-1	PRE-FORMED METAL COPING w/ HEMMED DRIP EDGE	PAC-CLAD; STONE WHITE	@ CMU-1
COP-2	PRE-FORMED METAL COPING w/ HEMMED DRIP EDGE	PAC-CLAD; BONE WHITE	@ EIFS-1



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www.penneydesigngroup.com

CMA's Honda of Winchester
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CMA Properties

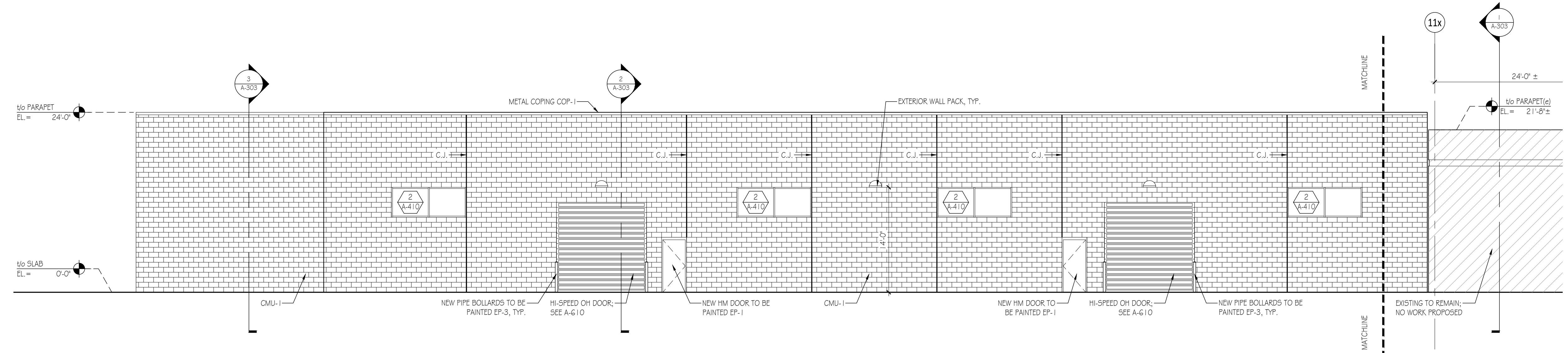
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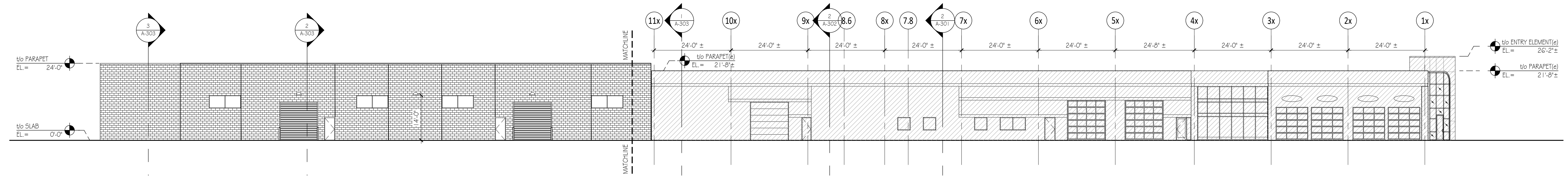
Bid Set	2023.07.27
No. Issue / Revision	Date
Drawn By:	LH
Checked By:	JP
Plot Date:	August 2, 2023

Sheet Number
A-201
Sheet Title
Building Elevations

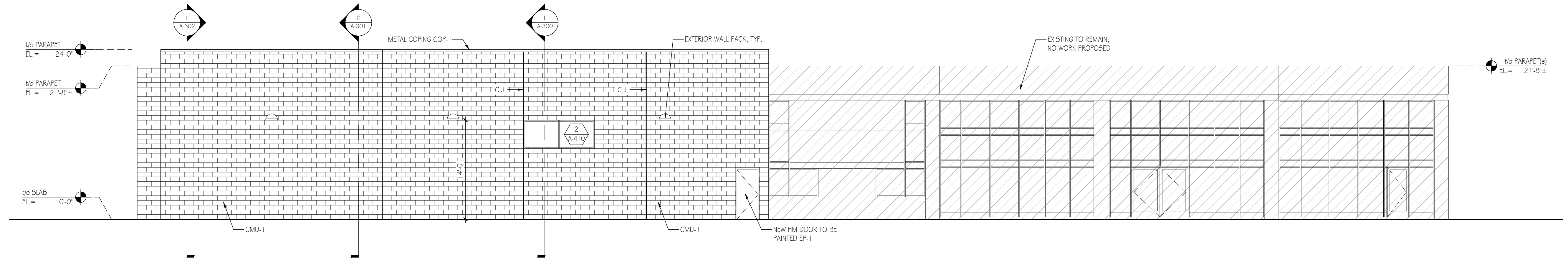
Project Number: CMA009a File Name: A-201.dwg



2A PARTIAL NORTH ELEVATION Scale: 1/8" = 1'-0"



2 OVERALL NORTH ELEVATION Scale: 1/16" = 1'-0"



3 EAST ELEVATION Scale: 1/8" = 1'-0"

CMA's Honda of Winchester
Addition & Alteration
3985 Valley Pike
Winchester, VA 22602

CMA Properties

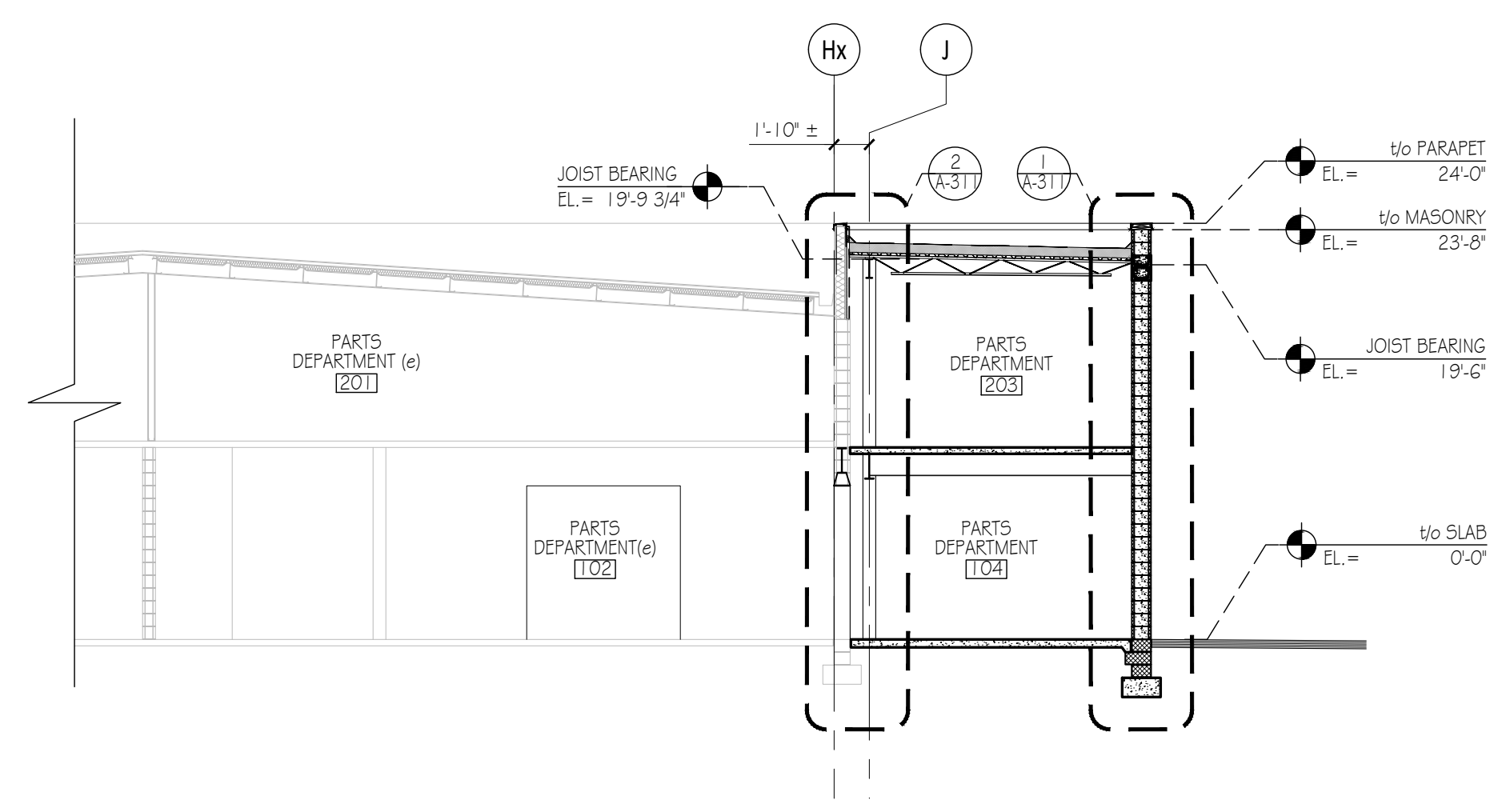
100 Myers Drive
Charlottesville, VA 22901

I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Virginia, license number: 640204652, expiration date: 31 October, 2024.

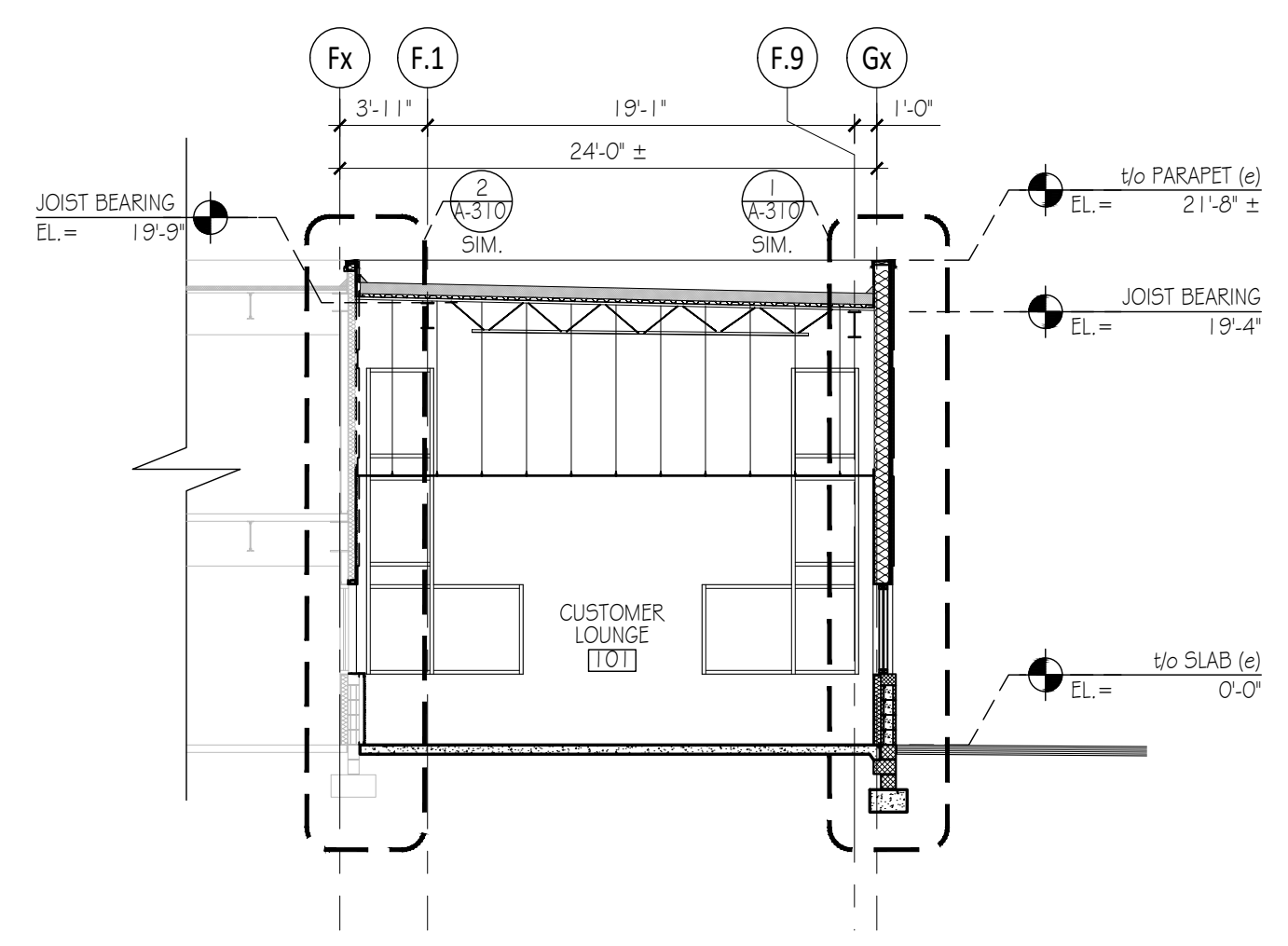
Bid Set	2023.07.27
No. Issue / Revision	Date
Drawn By:	LH
Checked By:	JP
Plot Date:	August 2, 2023

Sheet Number
A-300
Sheet Title
Building Sections

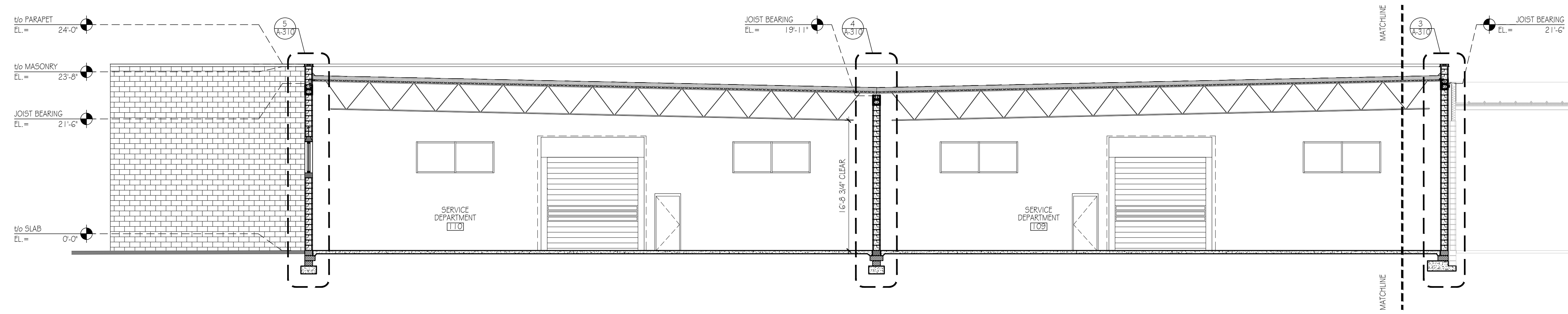
Project Number: CMA009a File Name: A-300.dwg



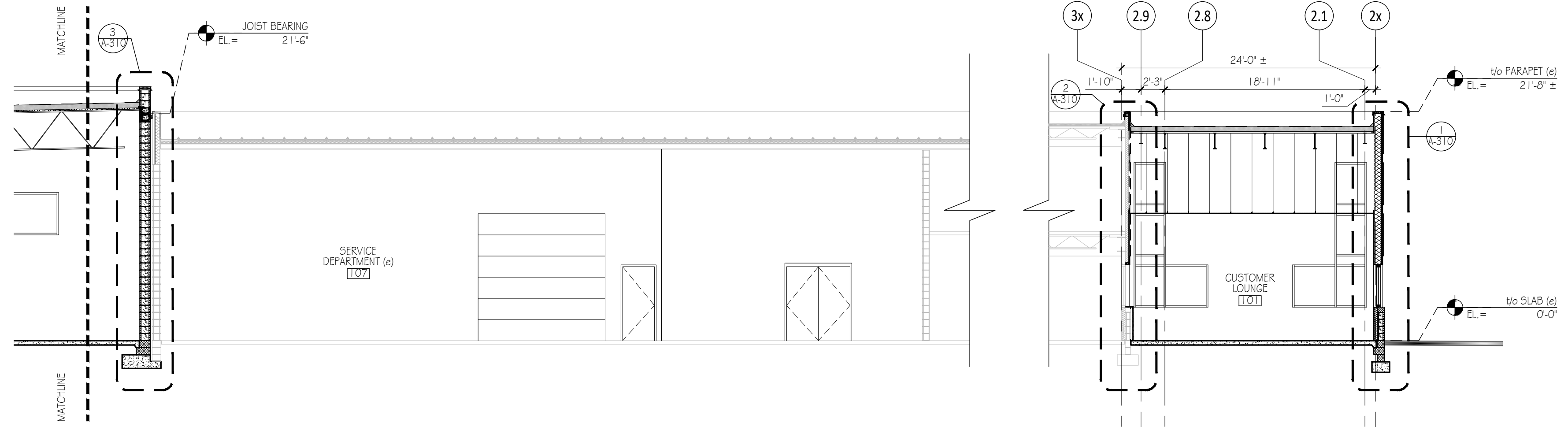
3 PARTIAL BUILDING SECTION
Scale: 1/8" = 1'-0"



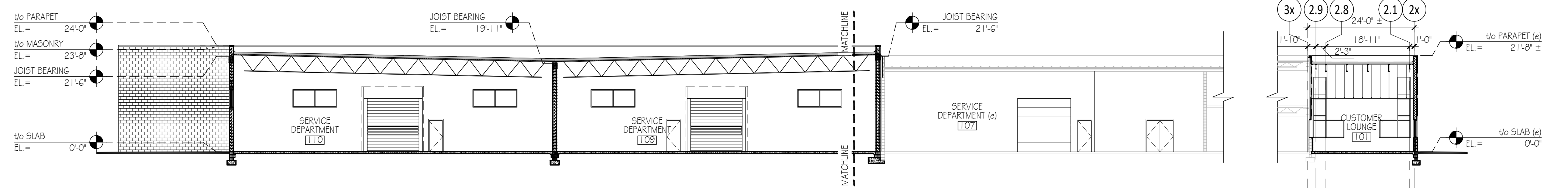
2 PARTIAL BUILDING SECTION
Scale: 1/8" = 1'-0"



1B PARTIAL BUILDING SECTION
Scale: 1/8" = 1'-0"



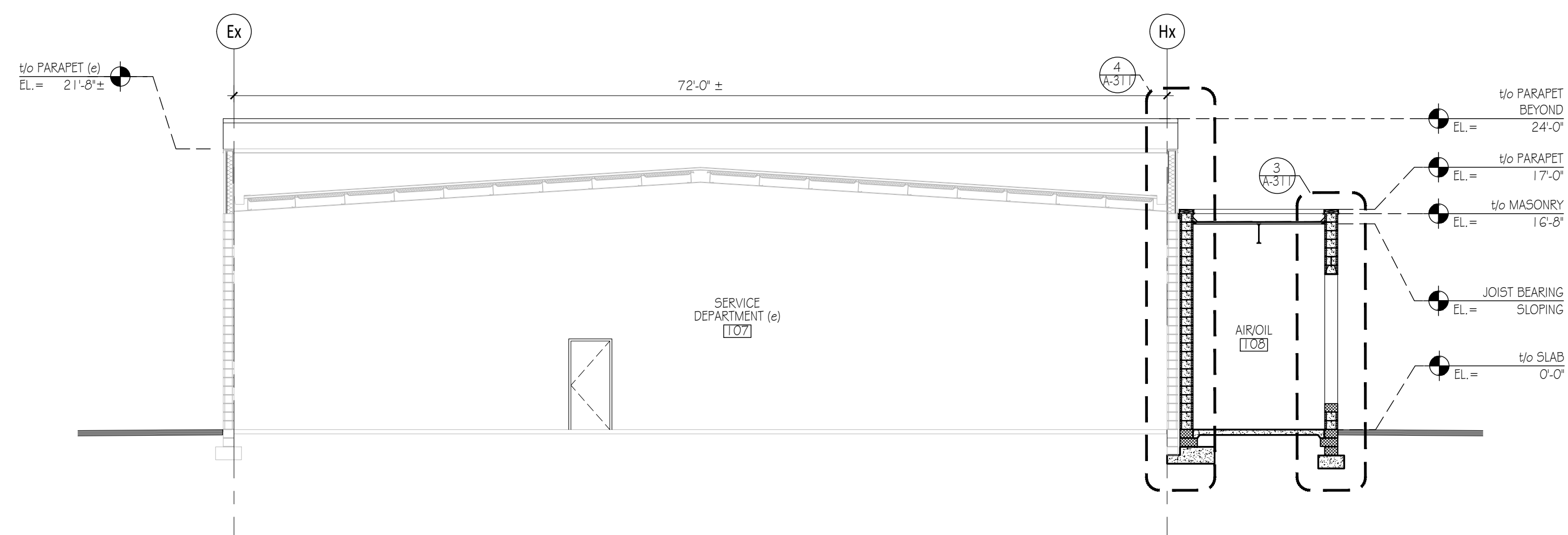
1A PARTIAL BUILDING SECTION
Scale: 1/8" = 1'-0"



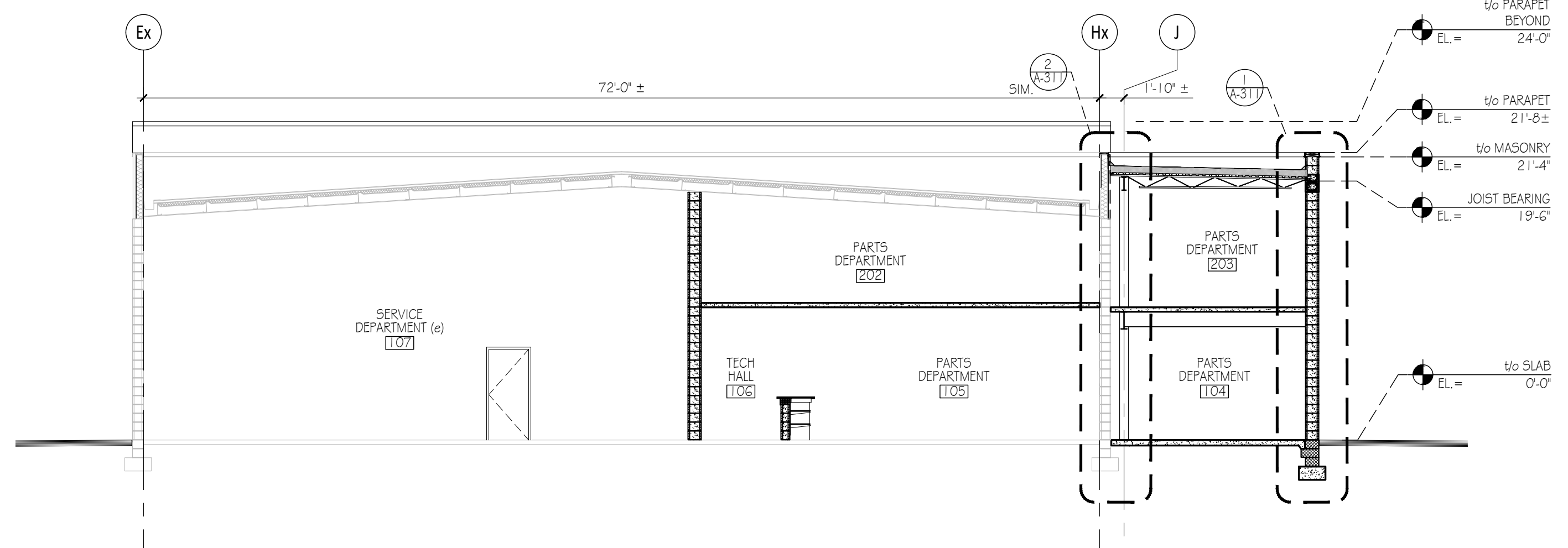
1 OVERALL BUILDING SECTION
Scale: 1/16" = 1'-0"

Bid Set	2023.07.27
No. Issue / Revision	Date
Drawn By:	LH
Checked By:	JP
Plot Date:	August 2, 2023

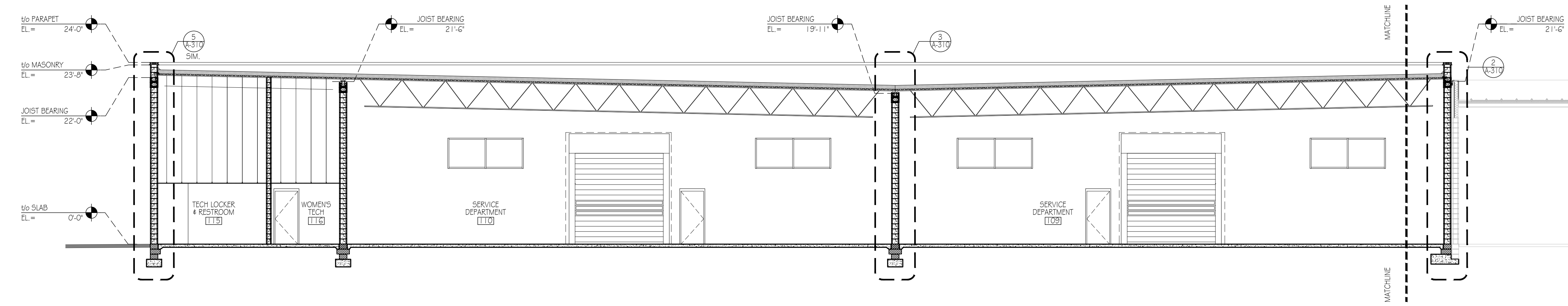
Sheet Number
A-301
Sheet Title
Building Sections



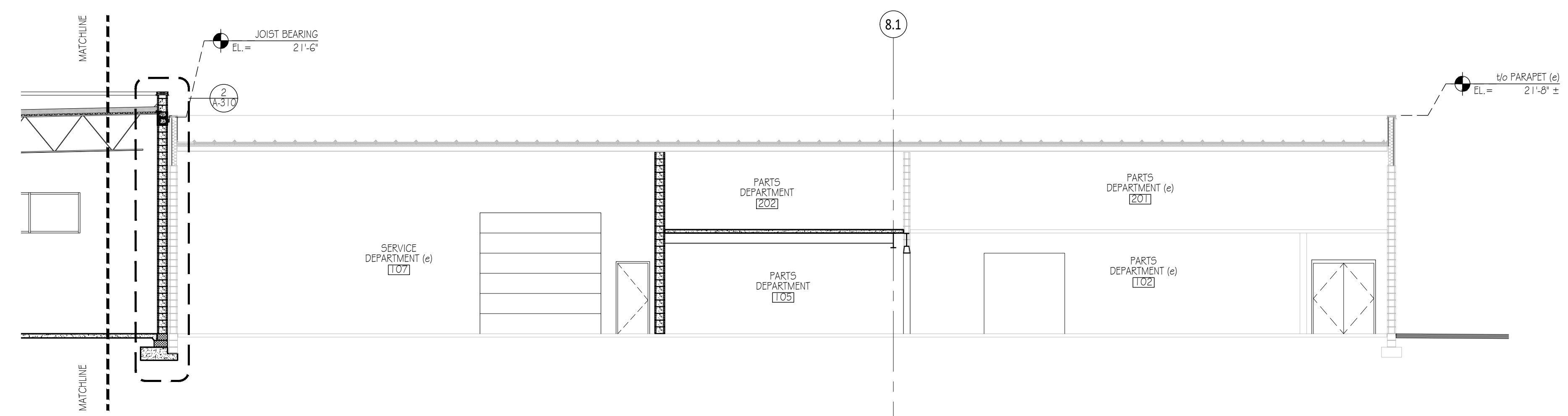
3 BUILDING SECTION
Scale: 1/8" = 1'-0"



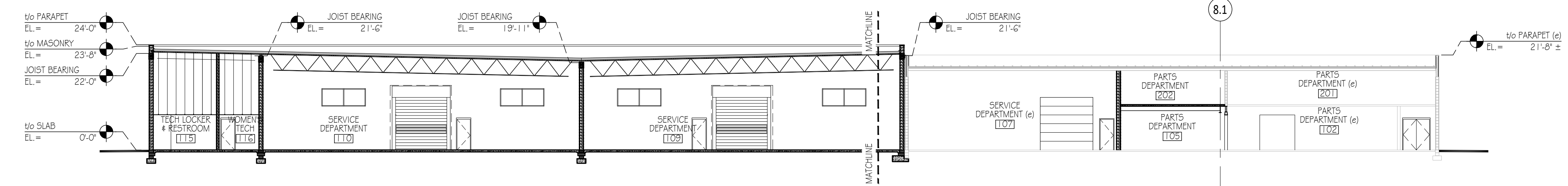
2 BUILDING SECTION
Scale: 1/8" = 1'-0"



1B PARTIAL BUILDING SECTION
Scale: 1/8" = 1'-0"



1A PARTIAL BUILDING SECTION
Scale: 1/8" = 1'-0"

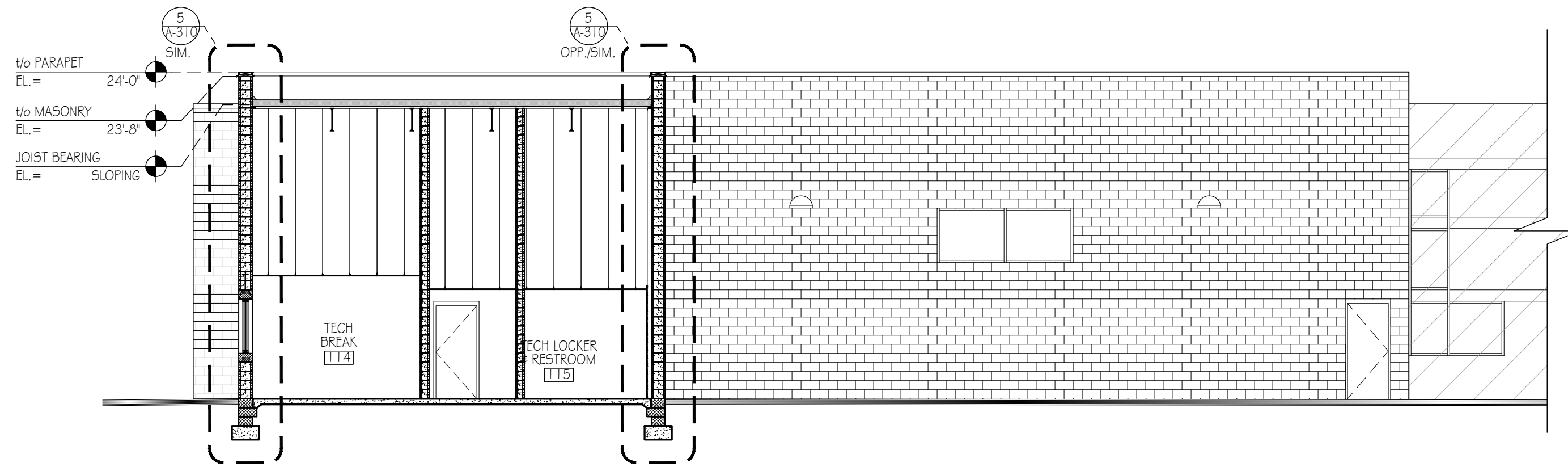


1 OVERALL BUILDING SECTION
Scale: 1/16" = 1'-0"

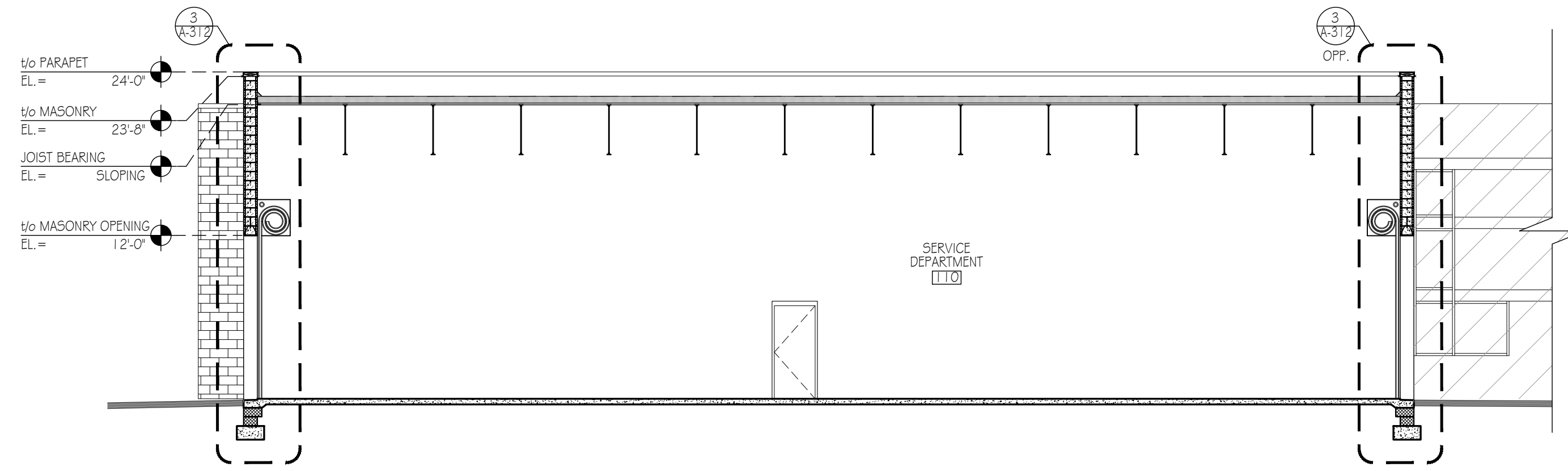
I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Virginia, license number: 460204619, expiration date: 31 October, 2024.

Bid Set	2023.07.27
No. Issue / Revision	Date
Drawn By:	LH
Checked By:	JP
Plot Date:	August 2, 2023

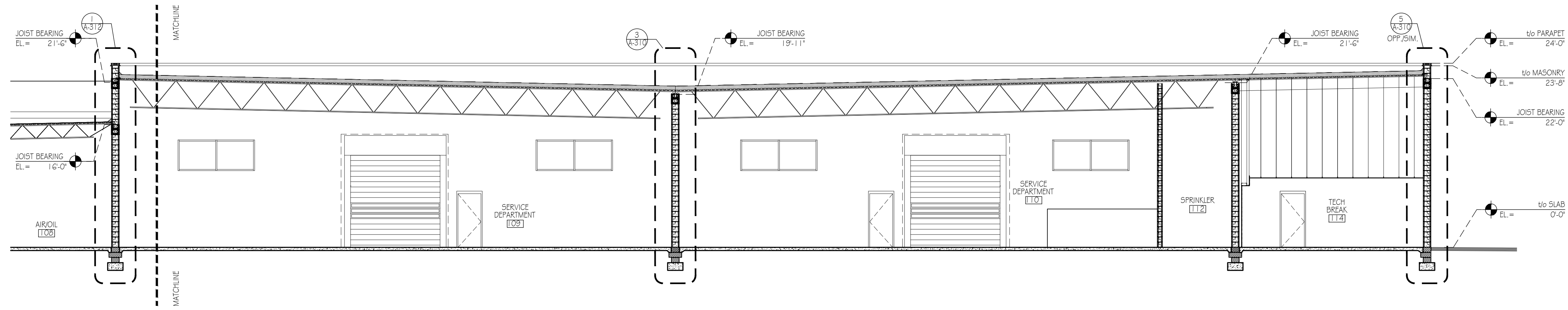
Sheet Number
A-302
Sheet Title
Building Sections



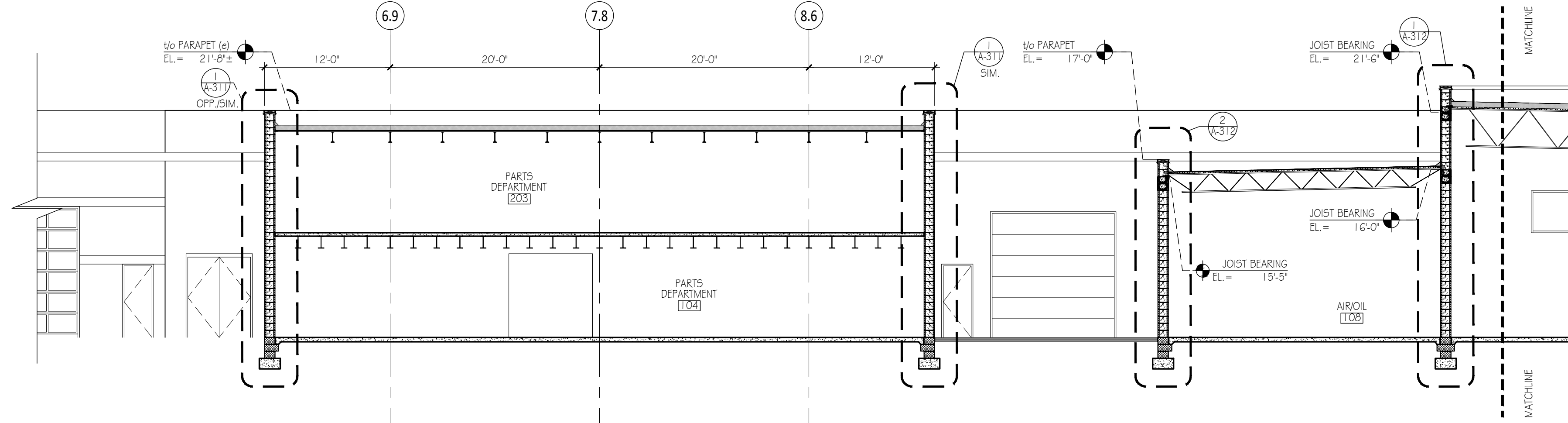
3 BUILDING SECTION
Scale: 1/8" = 1'-0"



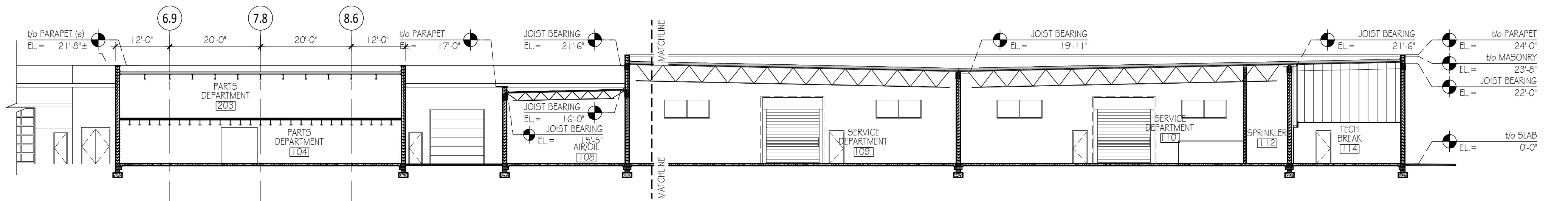
2 BUILDING SECTION
Scale: 1/8" = 1'-0"



1B PARTIAL BUILDING SECTION
Scale: 1/8" = 1'-0"



1A PARTIAL BUILDING SECTION
Scale: 1/8" = 1'-0"



1 OVERALL BUILDING SECTION
Scale: 1/16" = 1'-0"

CMA's Honda of Winchester
Addition & Alteration
3985 Valley Pike
Winchester, VA 22602

CMA Properties

100 Myers Drive
Charlottesville, VA 22901

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Bid Set 2023.07.27
No. Issue / Revision Date
Drawn By: LHM
Checked By: JJP
Plot Date: August 2, 2023

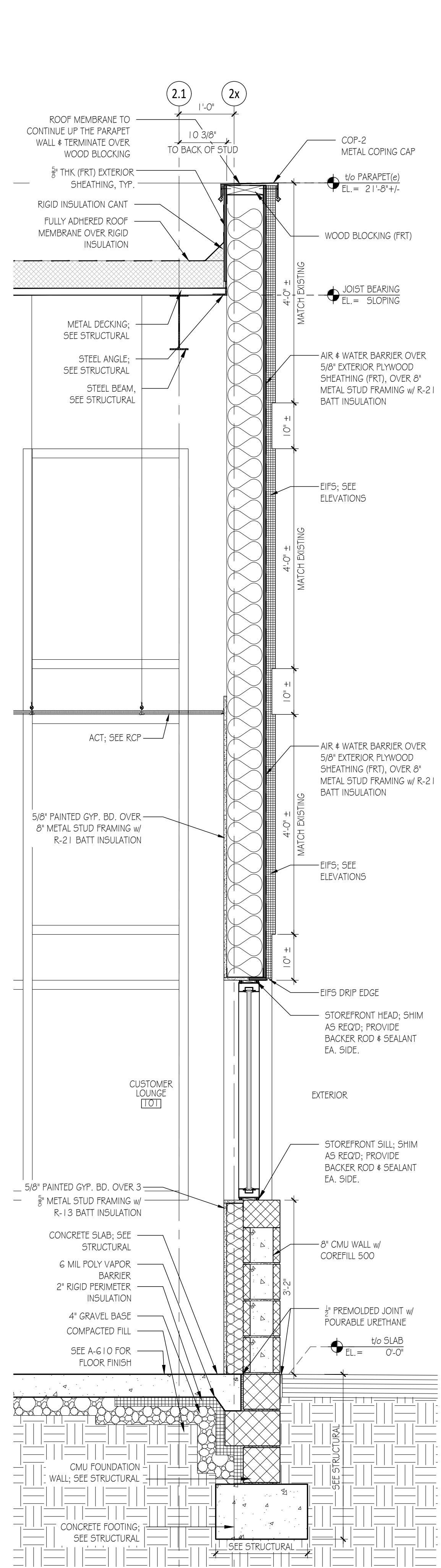
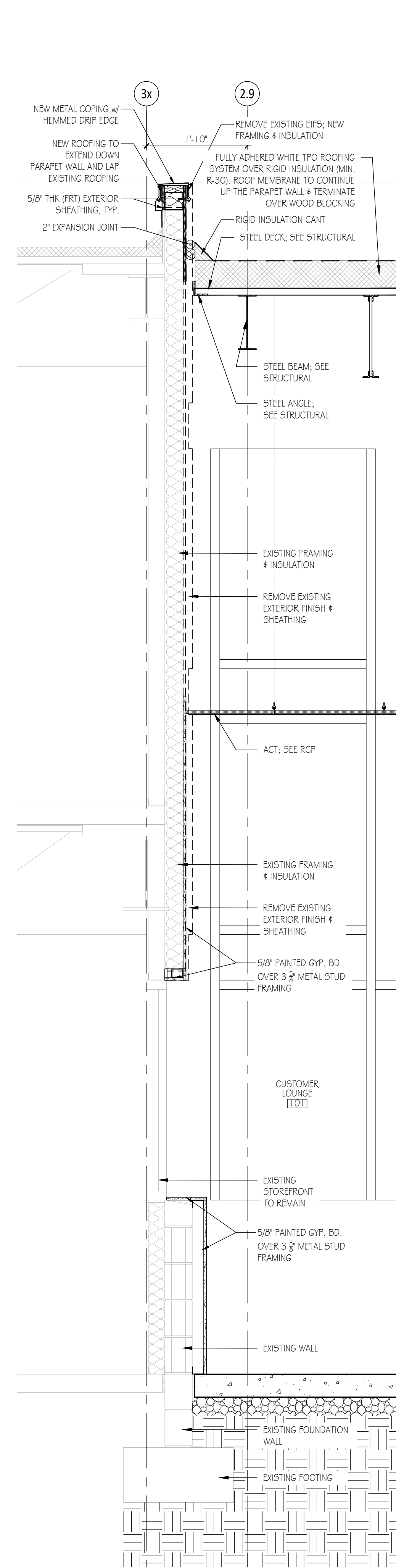
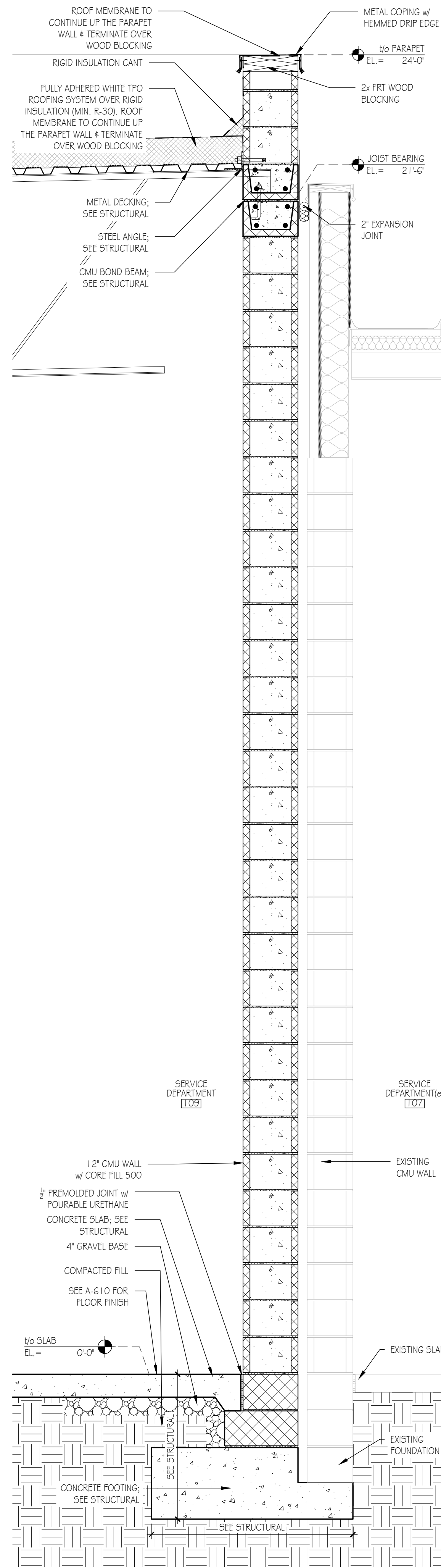
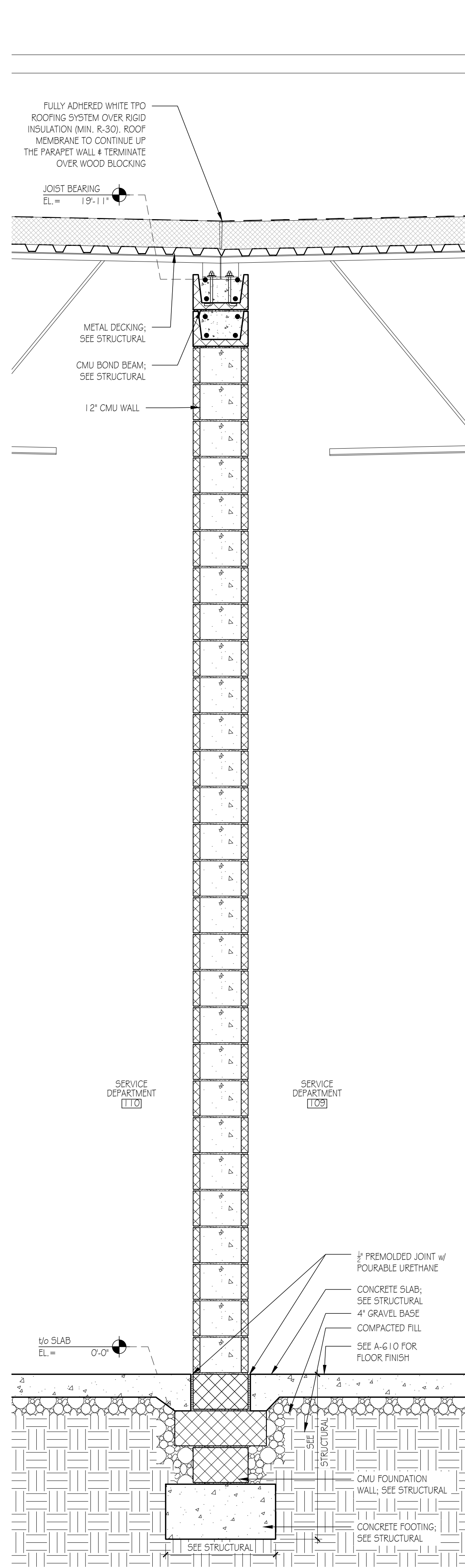
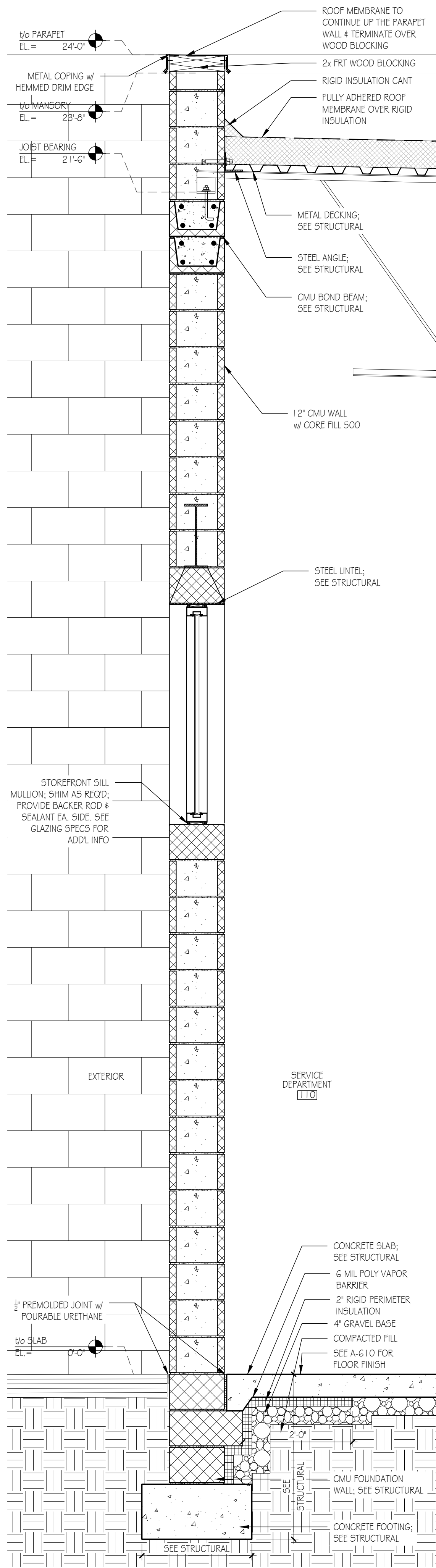
Sheet Number

A-310

Sheet Title

Wall Sections

Project Number CMA009a File Name A-310.dwg



CMA's Honda of Winchester
Addition & Alteration
3985 Valley Pike
Winchester, VA 22602

CMA Properties

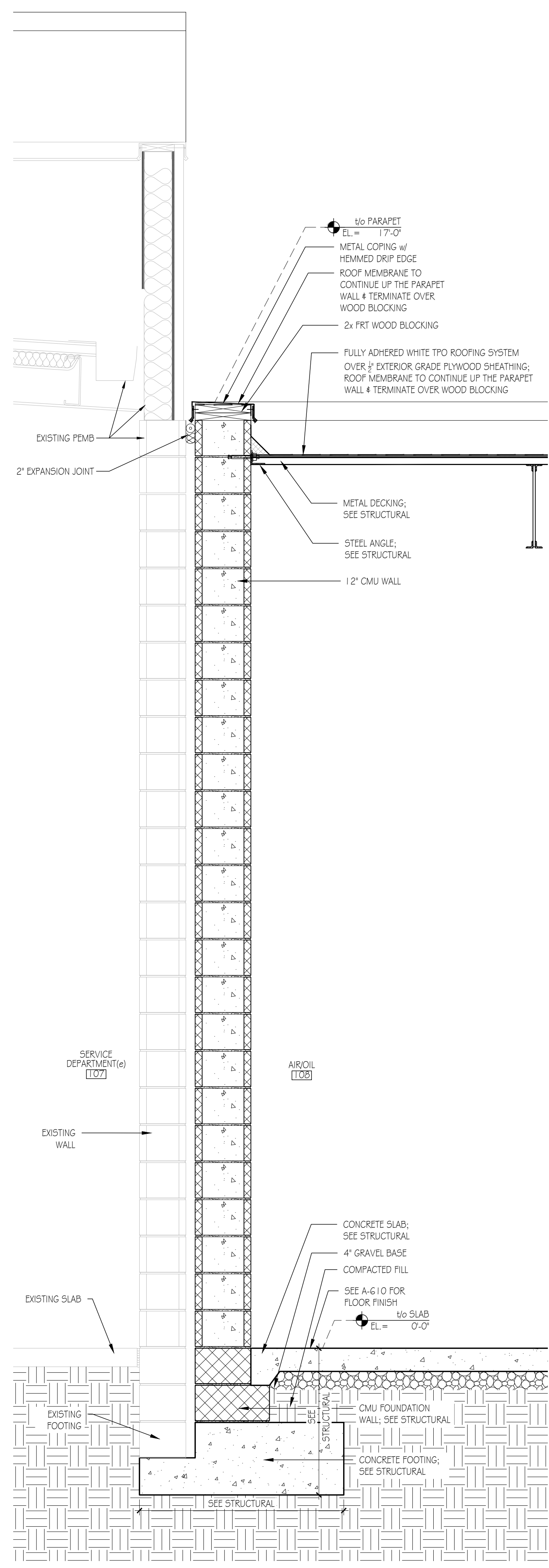
100 Myers Drive
Charlottesville, VA 22901

I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Virginia, license number: 040204629, expiration date: 31 October, 2024.

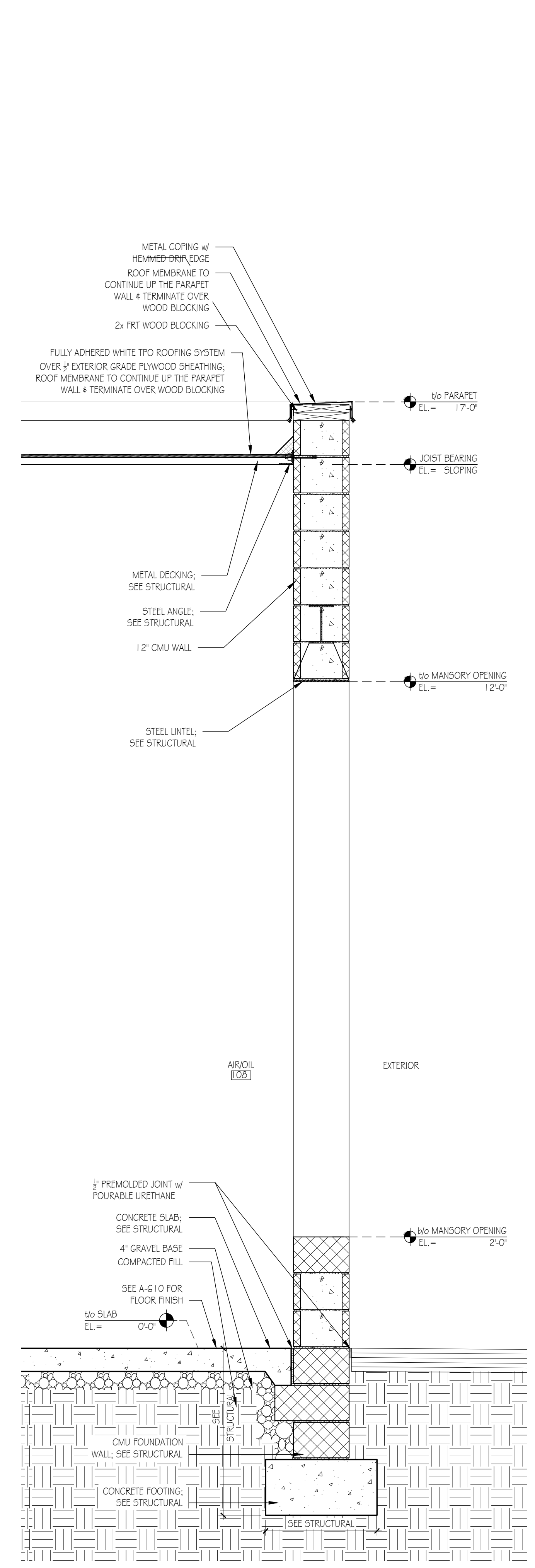
Bid Set	2023.07.27
No. Issue / Revision	Date
Drawn By:	LH
Checked By:	JP
Plot Date:	August 2, 2023

Sheet Number
A-311
Sheet Title
Wall Sections

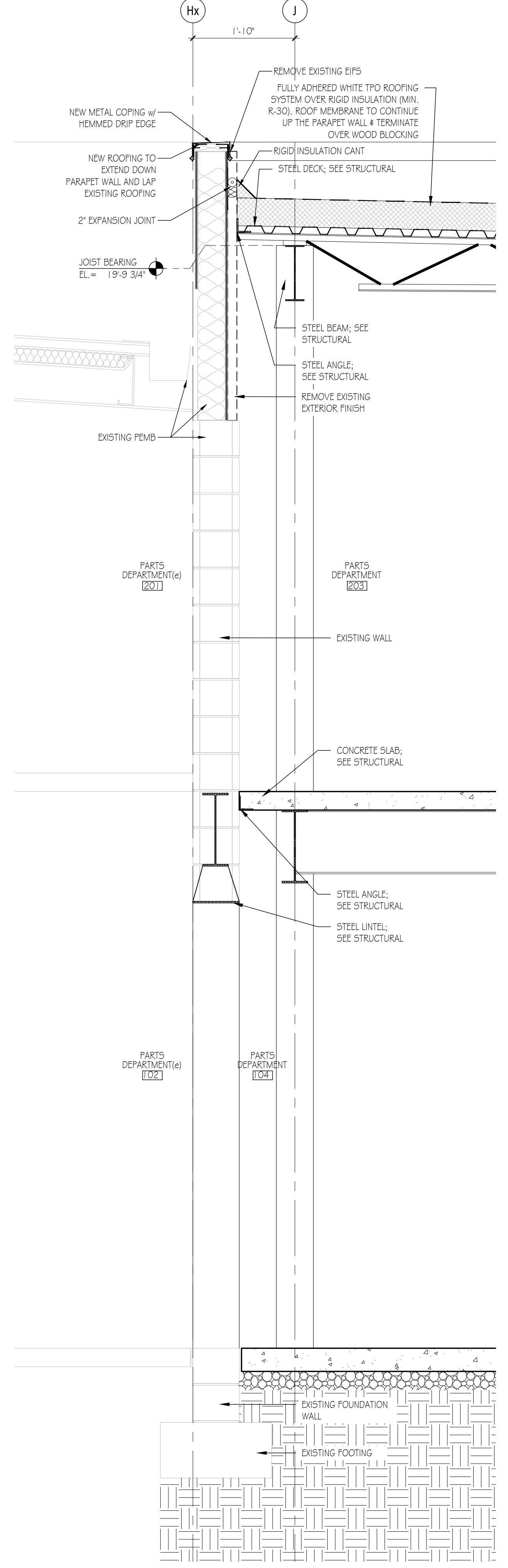
Project Number: CMA009a File Name: A-311.dwg



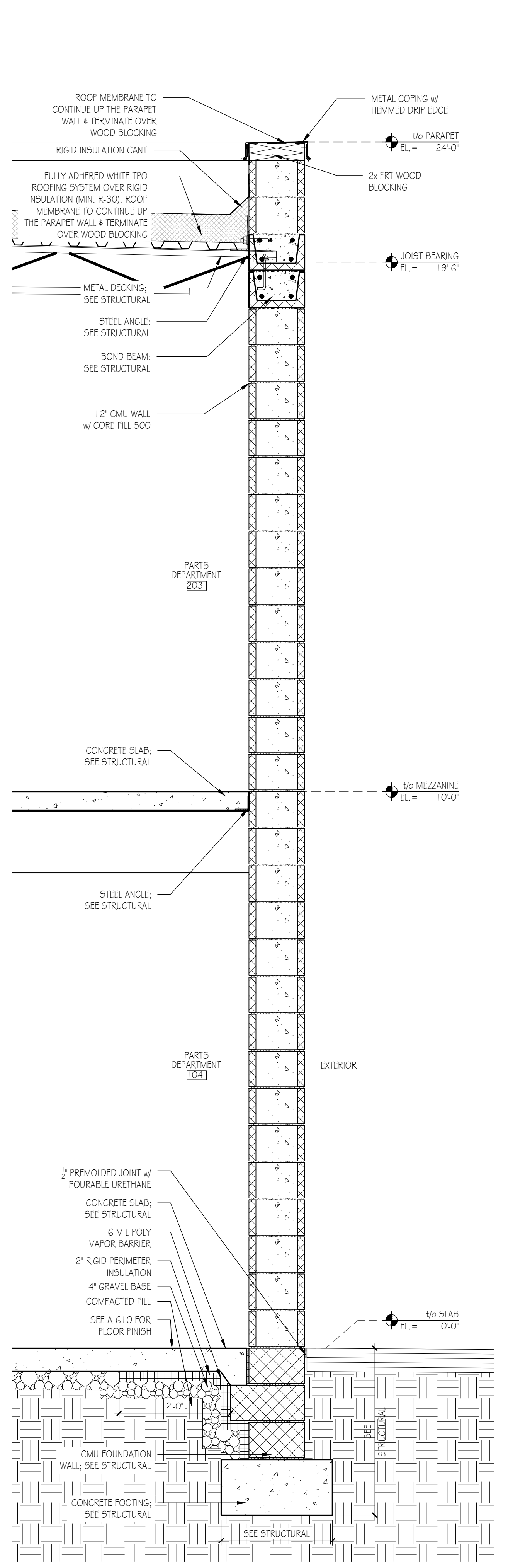
4 WALL SECTION
Scale: 3/4" = 1'-0"



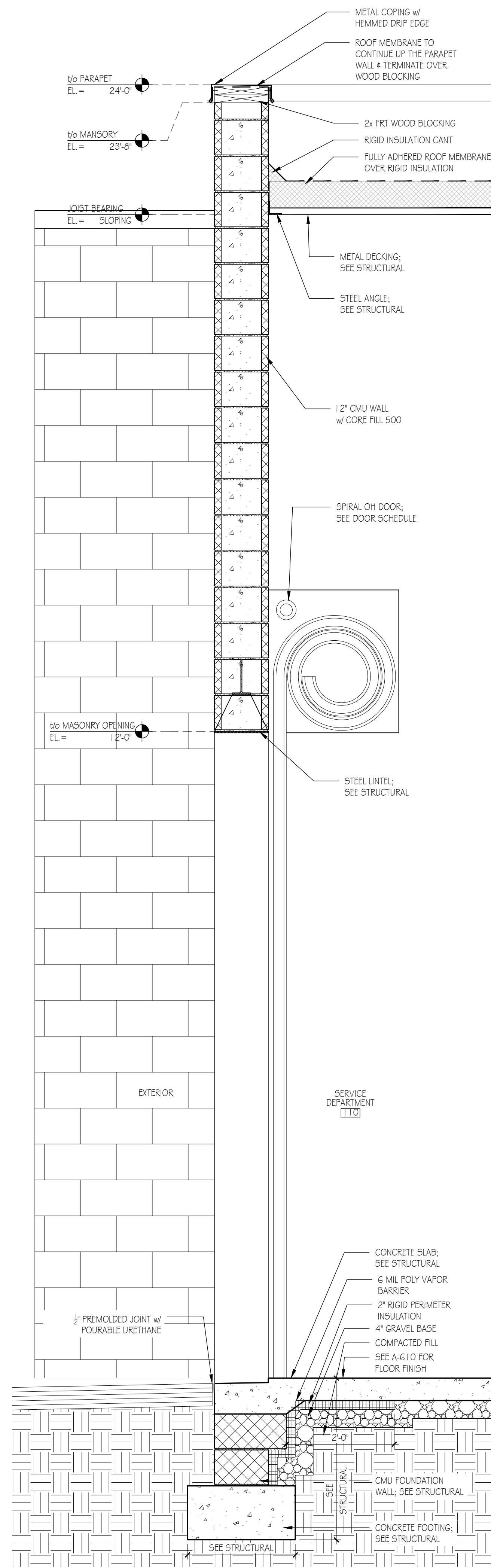
3 WALL SECTION
Scale: 3/4" = 1'-0"



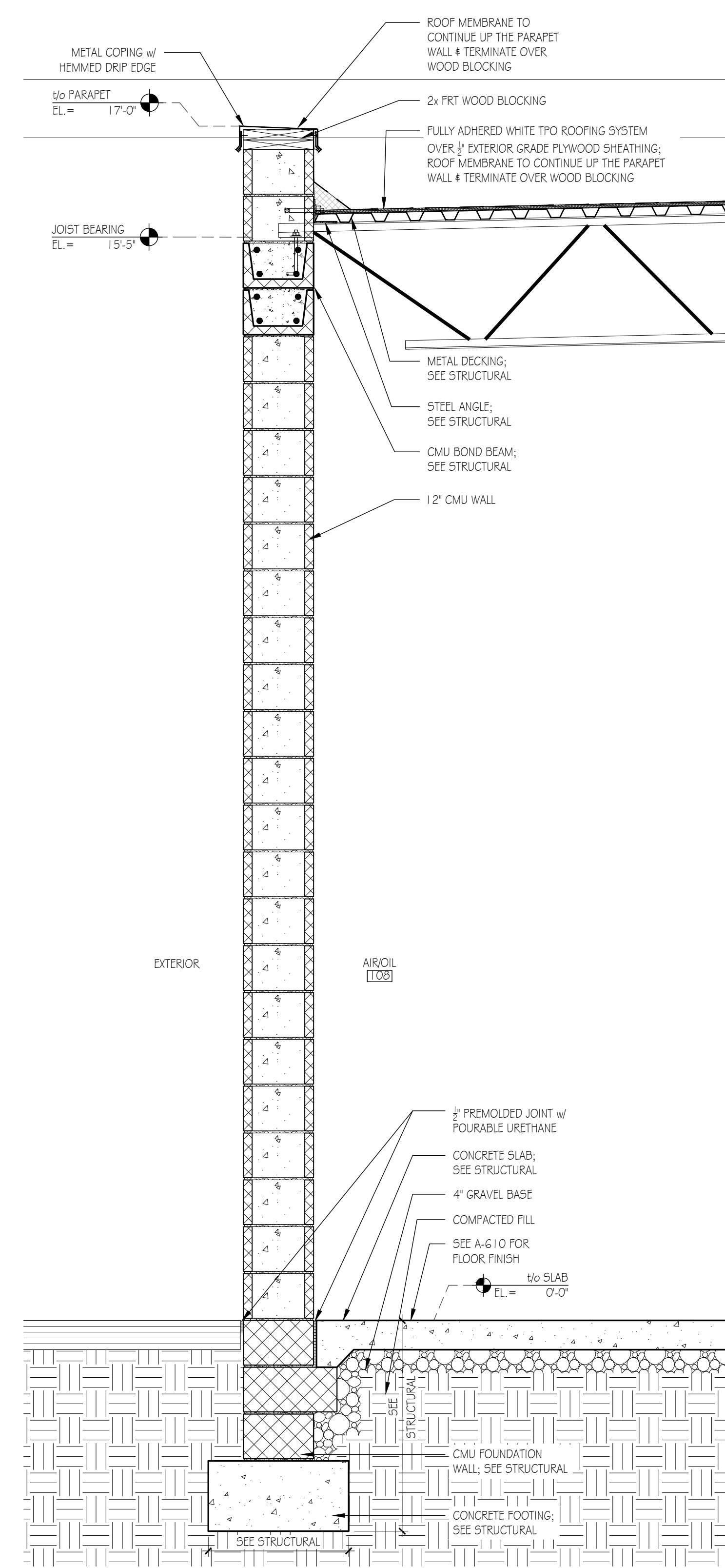
2 WALL SECTION
Scale: 3/4" = 1'-0"



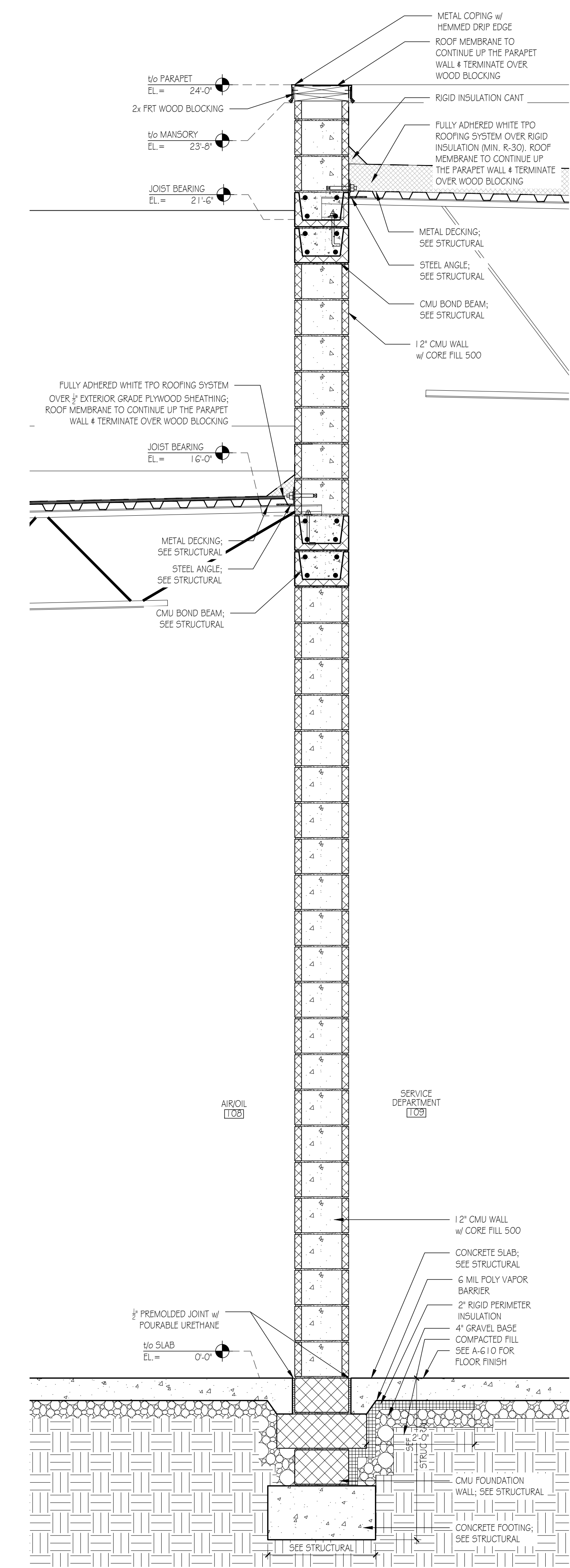
1 WALL SECTION
Scale: 3/4" = 1'-0"



3 WALL SECTION
Scale: 3/4" = 1'-0"



2 WALL SECTION
Scale: 3/4" = 1'-0"



1 WALL SECTION
Scale: 3/4" = 1'-0"

CMA's Honda of Winchester
Addition & Alteration
3985 Valley Pike
Winchester, VA 22602

CMA Properties

100 Myers Drive
Charlottesville, VA 22901

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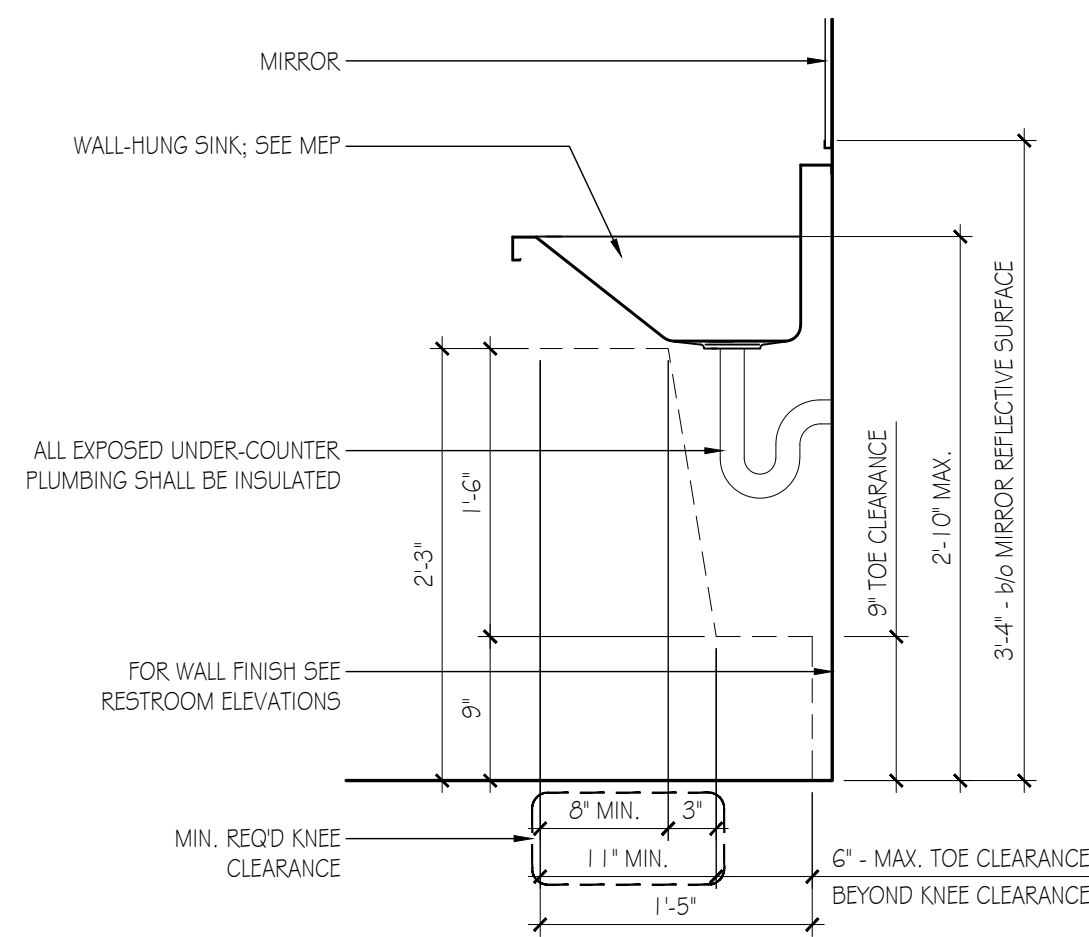
Bid Set	2023.07.27
No. Issue / Revision	Date
Drawn By:	LH
Checked By:	JJP
Plot Date:	August 2, 2023

Sheet Number
A-312
Sheet Title
Wall Sections

Project Number: CMA009a
File Name: A-312.dwg

LAVATORY SECTIONS

RESTROOM ACCESSORY SCHEDULE

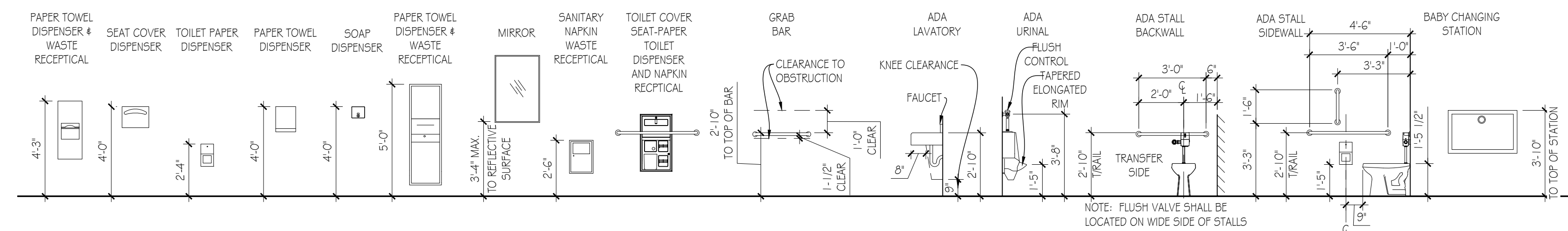


A SINK DETAIL - WALL MOUNTED
Scale: 1" = 1'-0"

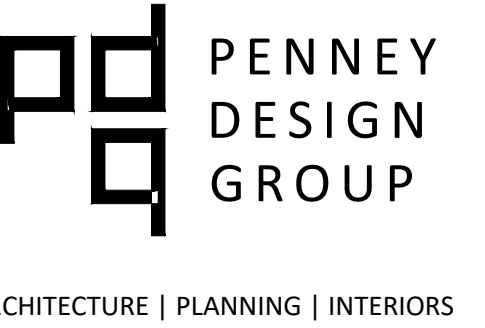
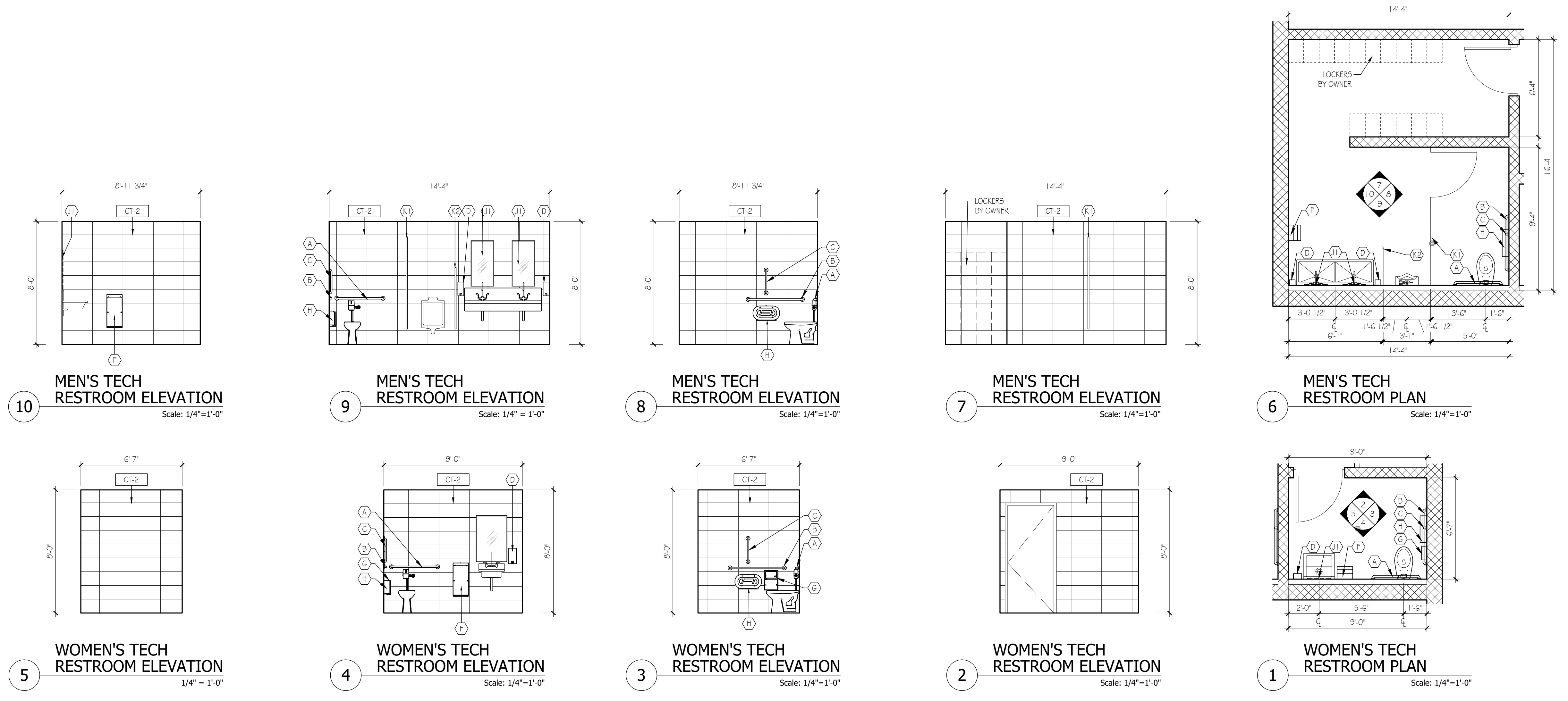
ITEM	MANUFACTURER	REMARKS	NOTES
A	GRAB BARS	BOBRICK B-6806 X 36"	PEENED GRIPPING SURFACE - HORIZONTAL 1,2
B	GRAB BARS	BOBRICK B-6806 X 42"	PEENED GRIPPING SURFACE - HORIZONTAL 1,2
C	GRAB BARS	BOBRICK B-6806 X 18"	PEENED GRIPPING SURFACE - VERTICAL 1,2
D	WALL MOUNTED SOAP DISPENSER	BOBRICK B-2111	SURFACE MOUNTED 1,2
F	HAND DRYER	DYSON AB14, COLOR: GRAY	SURFACE MOUNTED 2,3
G	SANITARY NAPKIN DISPOSAL	BOBRICK B-254, CLASSIC SERIES	SURFACE MOUNTED 2
H	TOILET TISSUE DISPENSER	BRADLEY, BRADEX 5402	SURFACE MOUNTED 2
J1	MIRROR	B-290 1836	SURFACE MOUNTED 2
K1	TOILET PARTITION	HINEY HIDERS, COLOR: CHARCOAL GRAY, FINISH: ORANGE PEEL	FLOOR MOUNTED 2
K2	URINAL PARTITION	HINEY HIDERS, COLOR: CHARCOAL GRAY, FINISH: ORANGE PEEL	SURFACE MOUNTED 2

NOTES:
 1. PROVIDE BLOCKING AS REQ'D
 2. MOUNT ALL ACCESSORIES PER ADA REQ'D MOUNTING HEIGHTS
 3. PROVIDE POWER AS REQ'D
 GENERAL NOTES:
 • G.C. SHALL COORDINATE ADDITIONAL ACCESSORIES & ALL FINAL SELECTIONS w/ OWNER

TYPICAL RESTROOM ACCESSORY



RESTROOM PLANS & ELEVATIONS



ARCHITECTURE | PLANNING | INTERIORS
 8120 Woodmont Avenue
 Suite 750
 Bethesda, Maryland 20814
 p.301.979.7600
 f.301.710.6384
 www.penneydesigngroup.com

CMA's Honda of Winchester
 Addition & Alteration
 3985 Valley Pike
 Winchester, VA 22602

CMA Properties
 100 Myers Drive
 Charlottesville, VA 22901

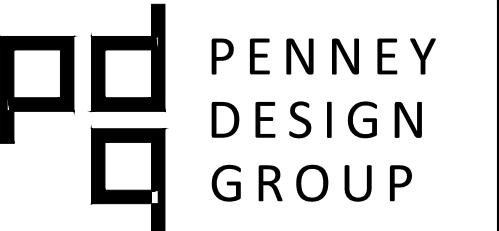
I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Virginia, license number: 040304619, expiration date: 31 October, 2024.

Bid Set 2023.07.27
 No. Issue / Revision Date
 Drawn By: LK
 Checked By: LH
 Plot Date: August 2, 2023

Sheet Number
A-400
 Sheet Title
Restroom Details

Project Number CMA009a File Name A-400.dwg

EXTERIOR GLAZING DETAILS

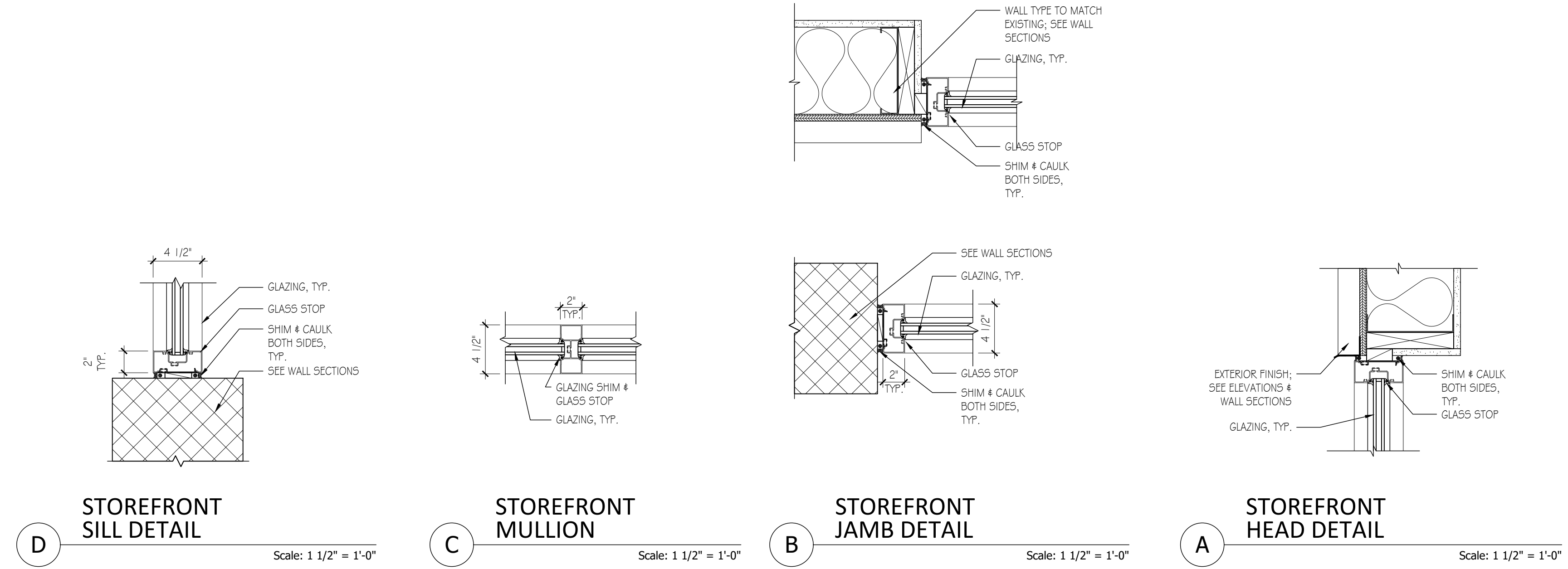


ARCHITECTURE | PLANNING | INTERIORS

8120 Woodmont Avenue
Suite 750
Bethesda, Maryland 20814
p.301.979.7600
f.301.710.6384

www.penneydesigngroup.com

CMA's Honda of Winchester
Addition & Alteration
3985 Valley Pike
Winchester, VA 22602

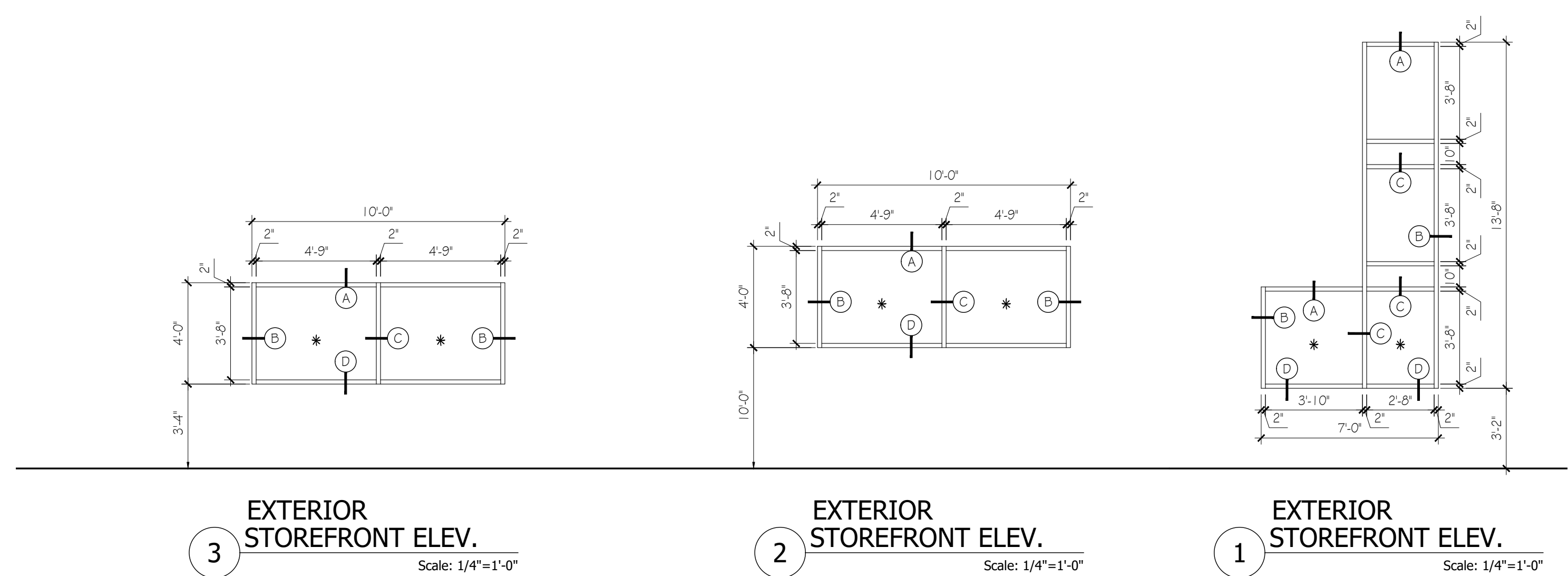


EXTERIOR GLAZING ELEVATIONS

CMA Properties

100 Myers Drive
Charlottesville, VA 22901

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Bid Set	2023.07.27
No. Issue / Revision	Date
Drawn By:	LK
Checked By:	LH
Plot Date:	August 2, 2023

Sheet Number
A-410
Sheet Title
Exterior Glazing Details

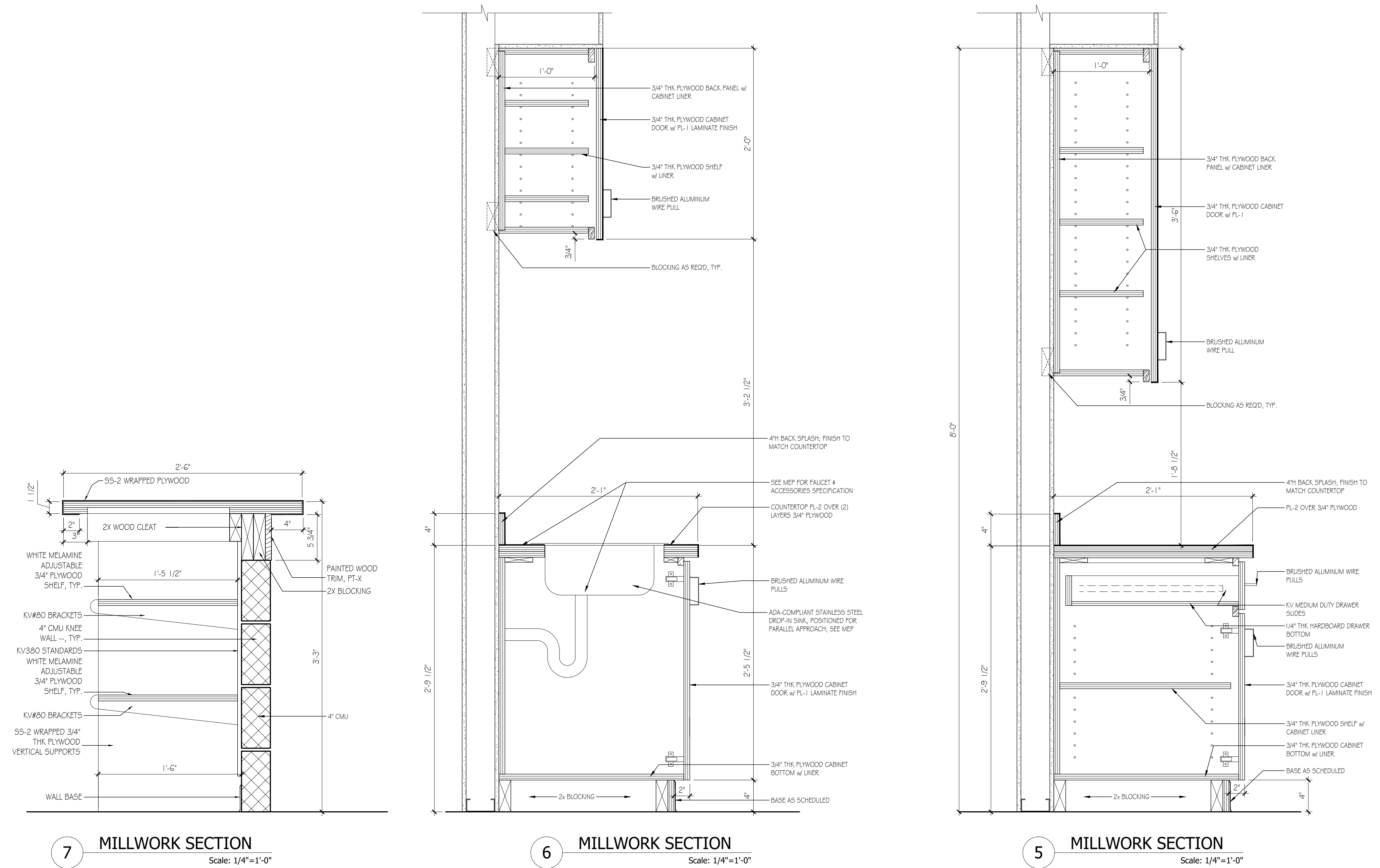
Project Number: CMA009a
File Name: A-410.dwg

CMA's Honda of Winchester
Addition & Alteration
3985 Valley Pike
Winchester, VA 22602

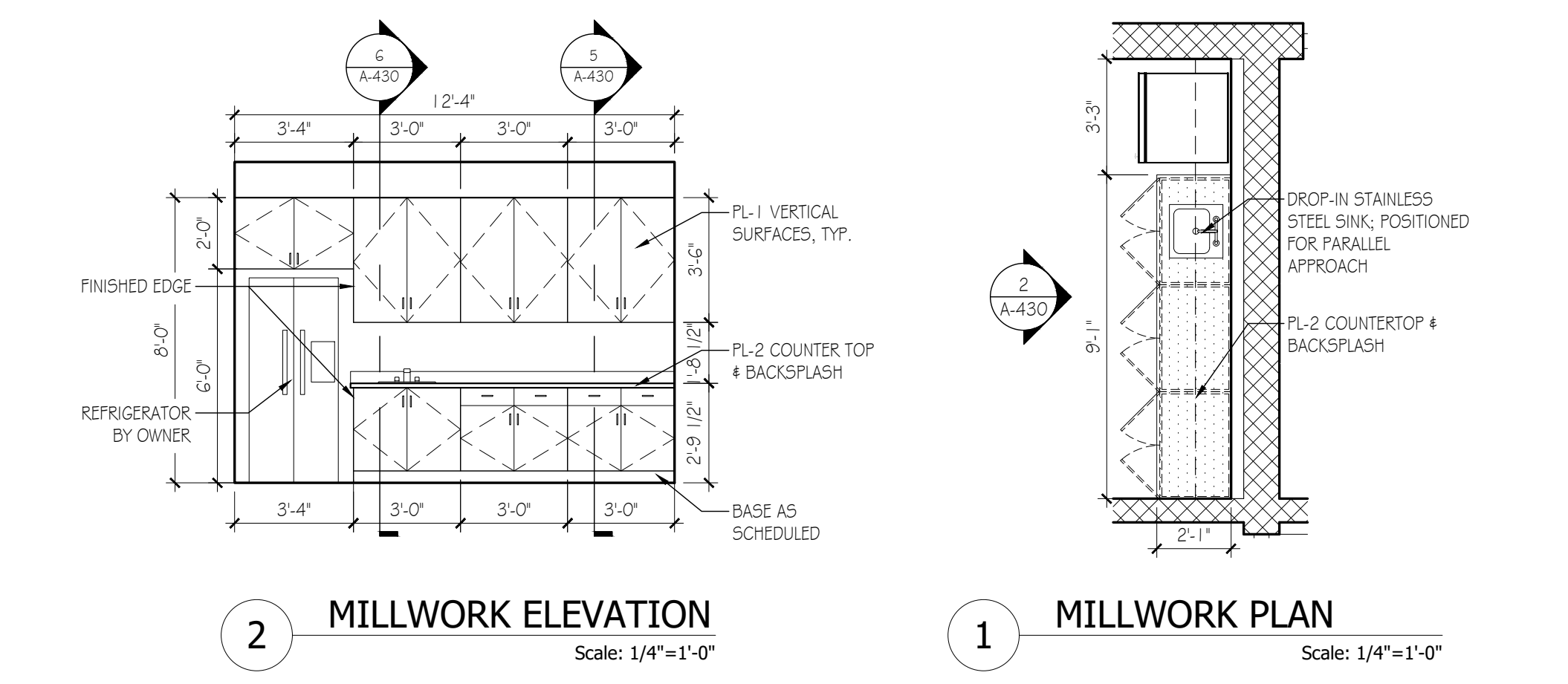
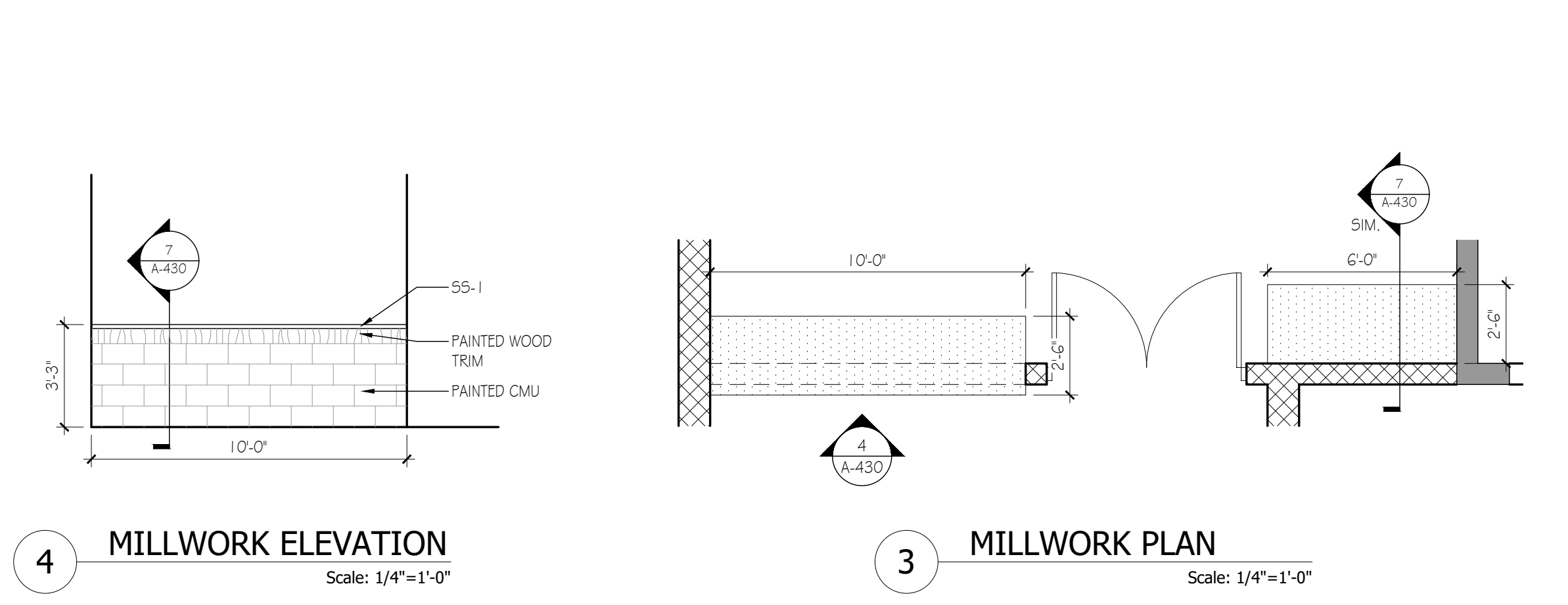
CMA Properties

100 Myers Drive
Charlottesville, VA 22901

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PARTS COUNTER #105 | **TECH BREAKROOM #114**

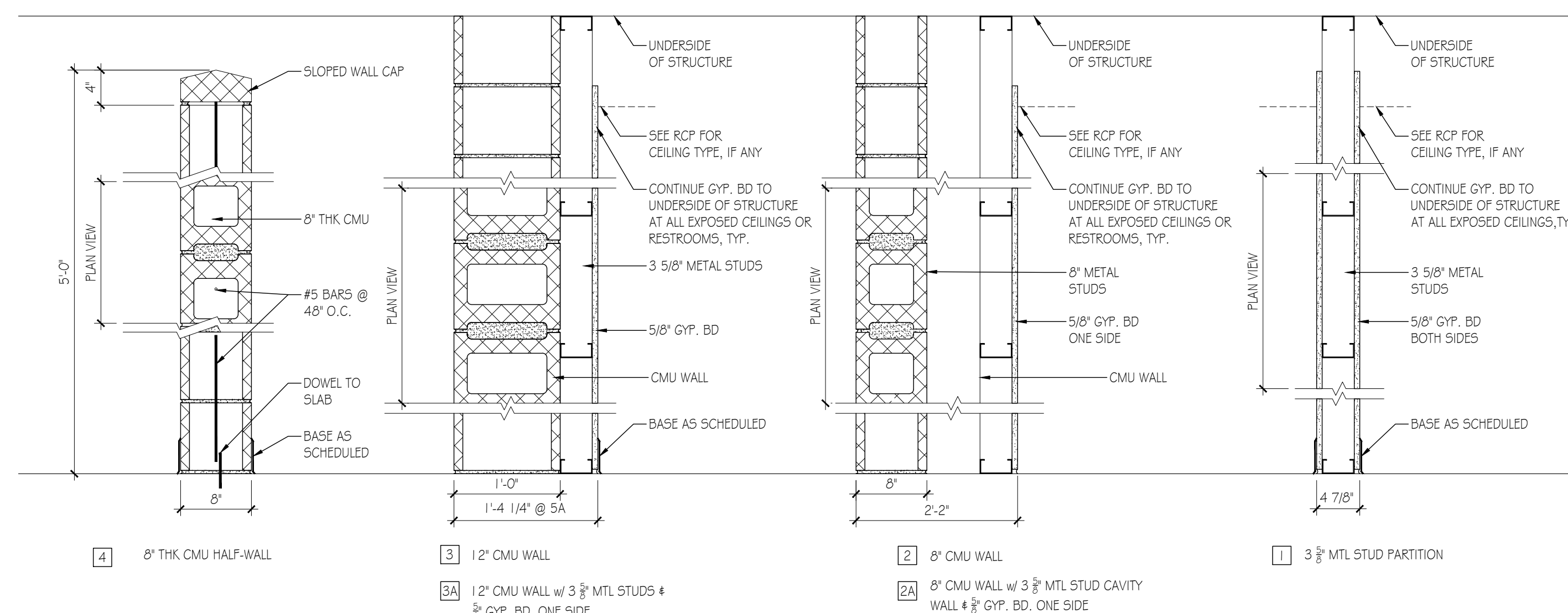


Bid Set	2023.07.27
No. Issue / Revision	Date
7	LK
Checked By:	LH
Plot Date:	August 2, 2023

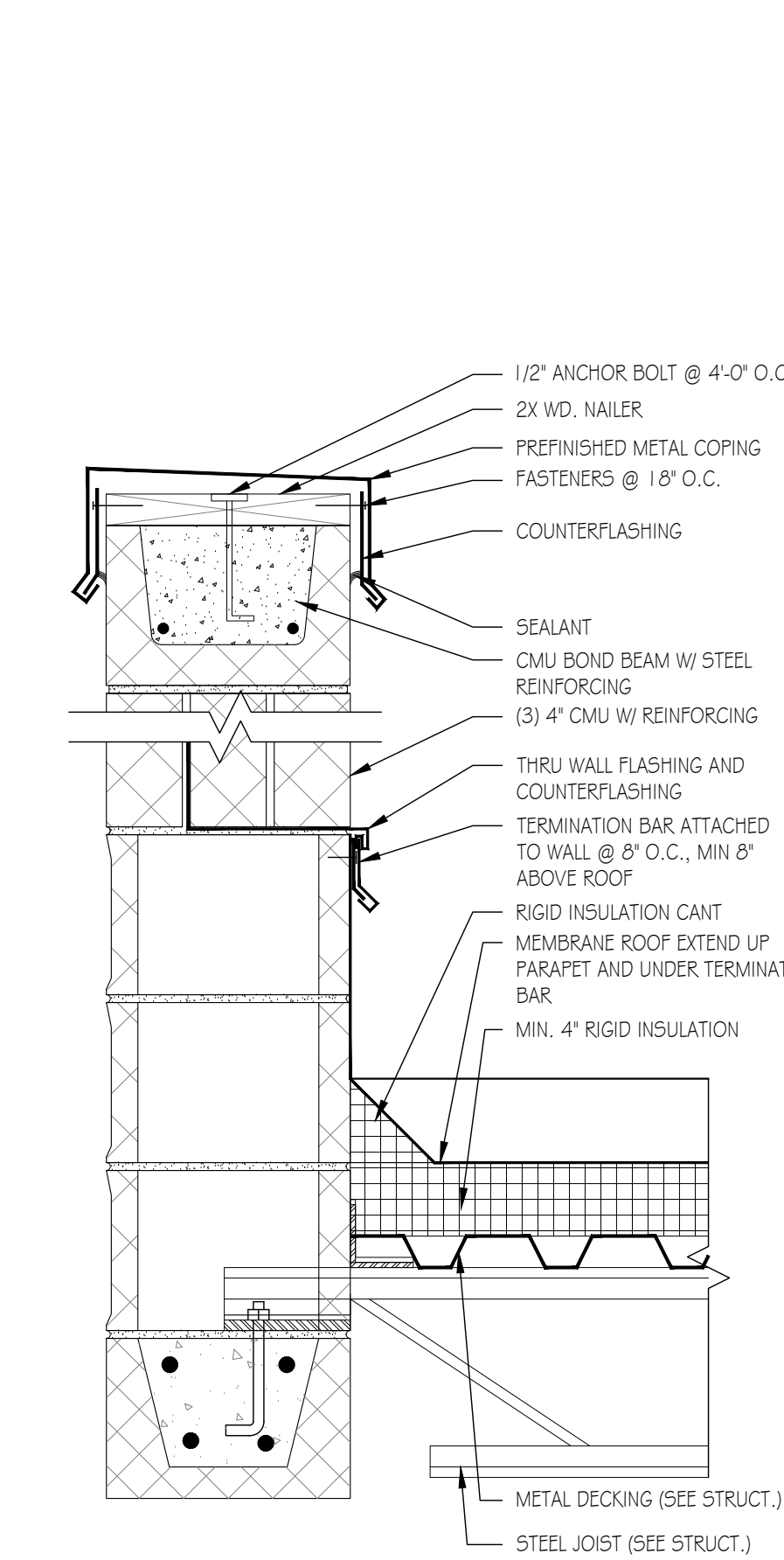
Sheet Number
A-430
Sheet Title
Millwork Details

Project Number CMA009a	File Name A-430.dwg
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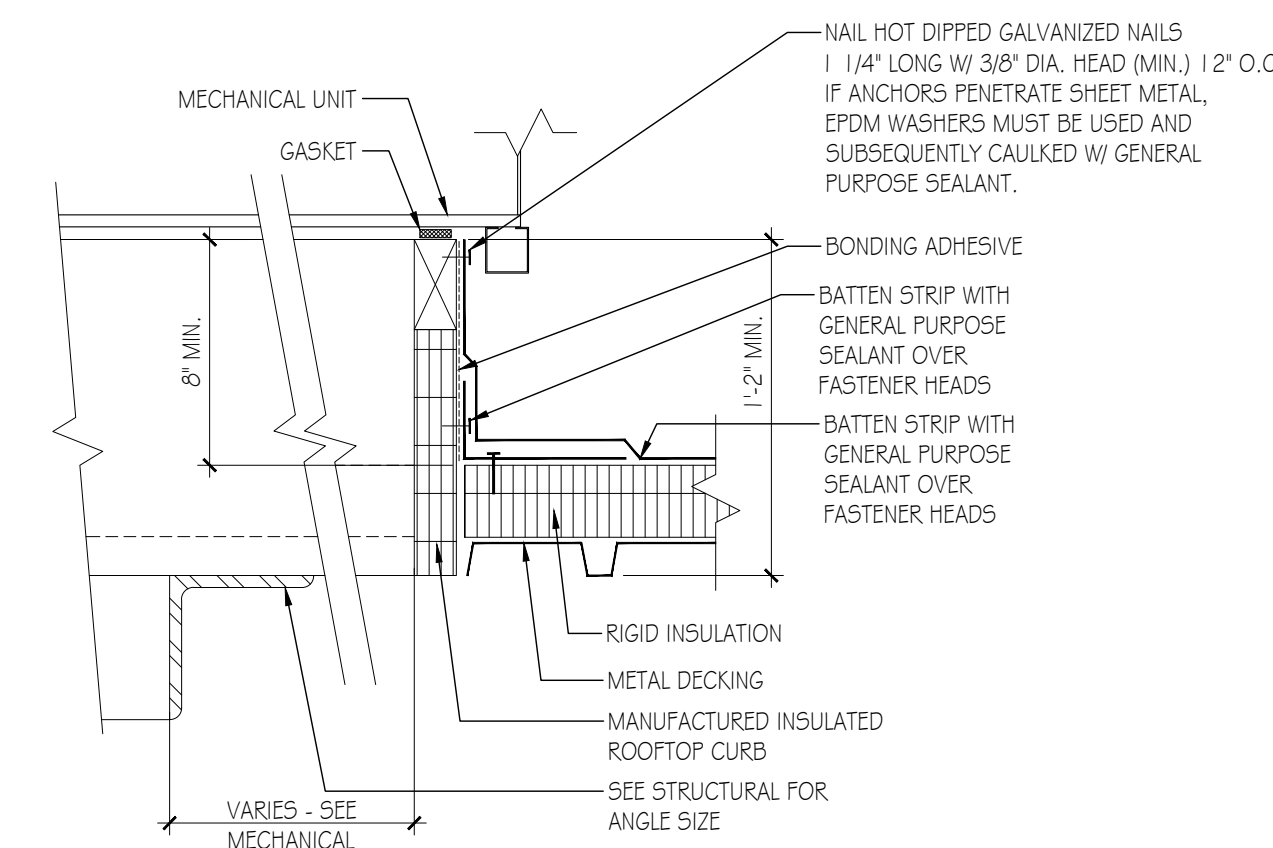
WALL TYPES



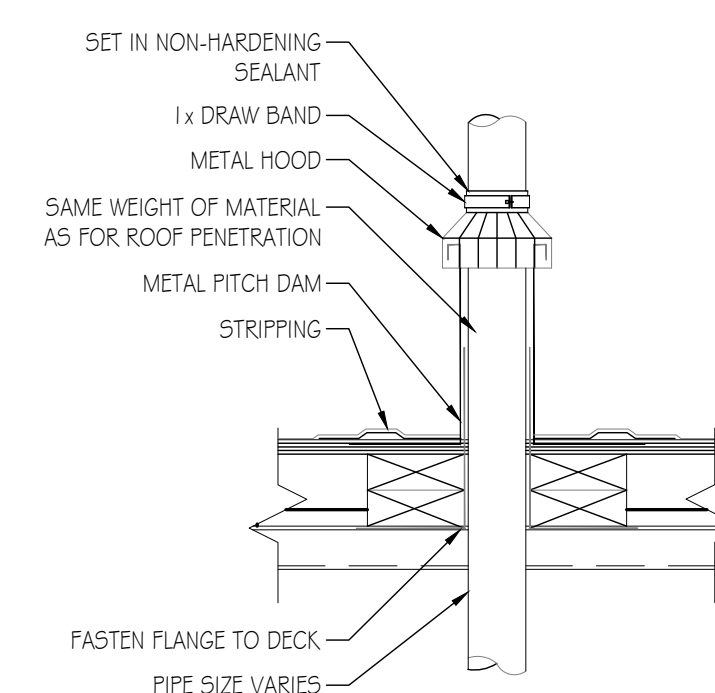
TYPICAL DETAILS



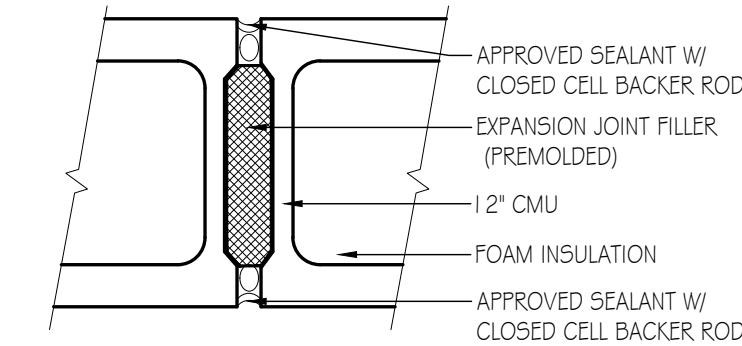
H TYP. PARAPET FLASHING DETAIL
Scale: 1" = 1'-0"



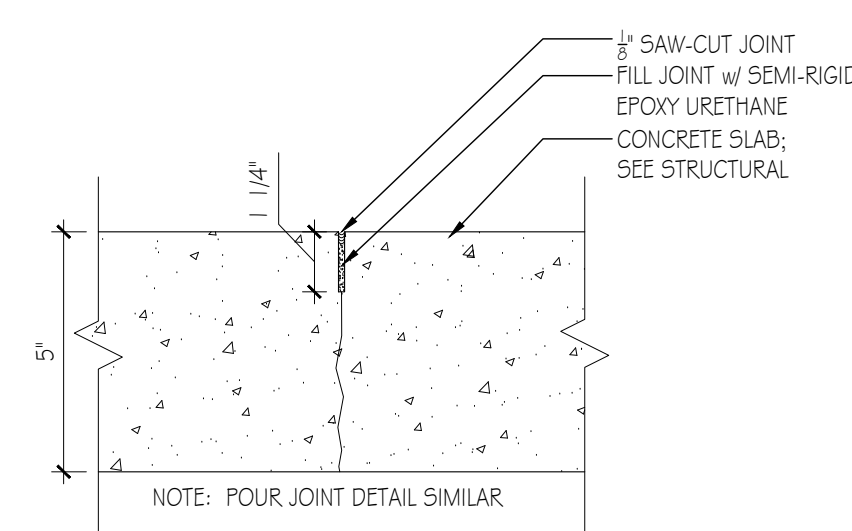
M TYP. ROOF CURB DETAIL
Scale: 1 1/2" = 1'-0"



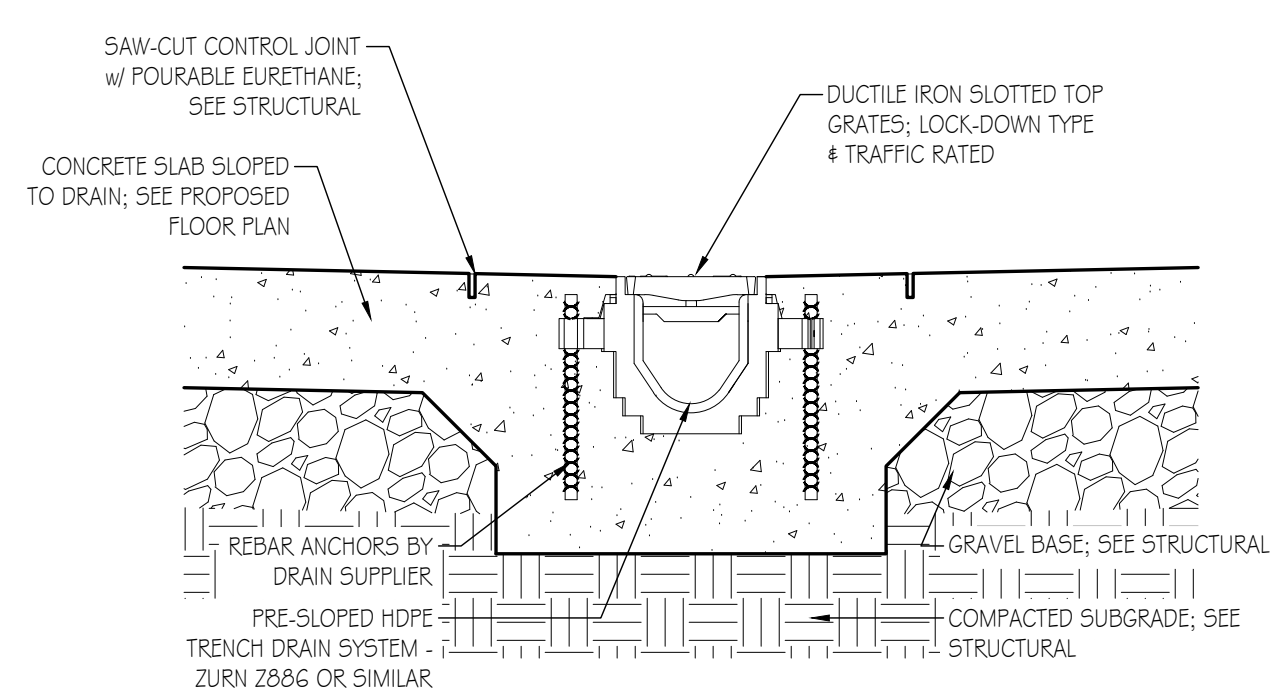
L TYP. PIPE FLASHING DETAIL
Scale: 1 1/2" = 1'-0"



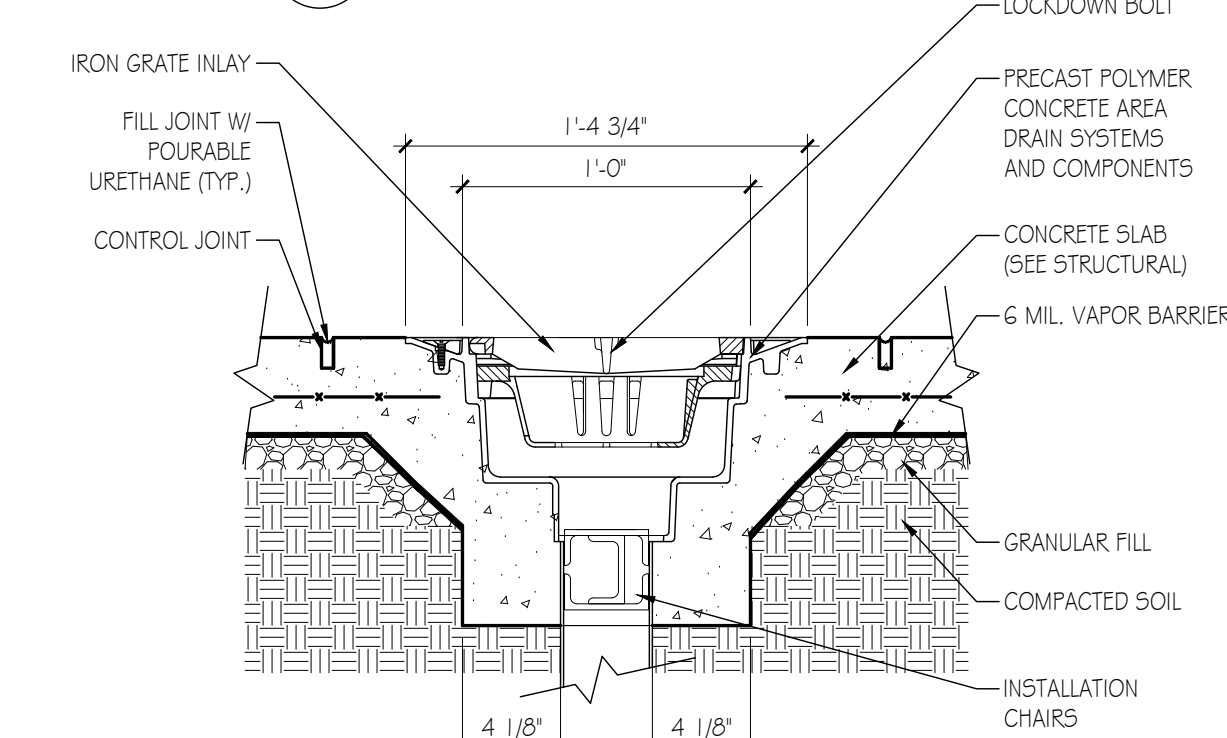
K TYP. CMU JOINT DETAIL
Scale: 1 1/2" = 1'-0"



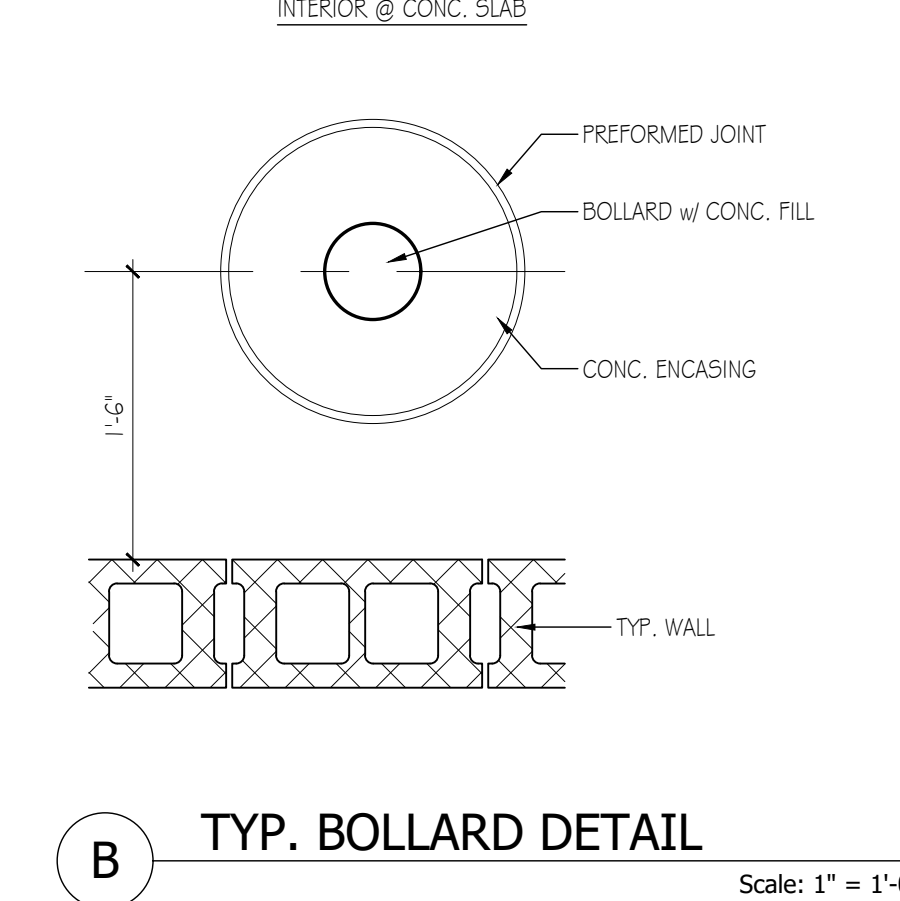
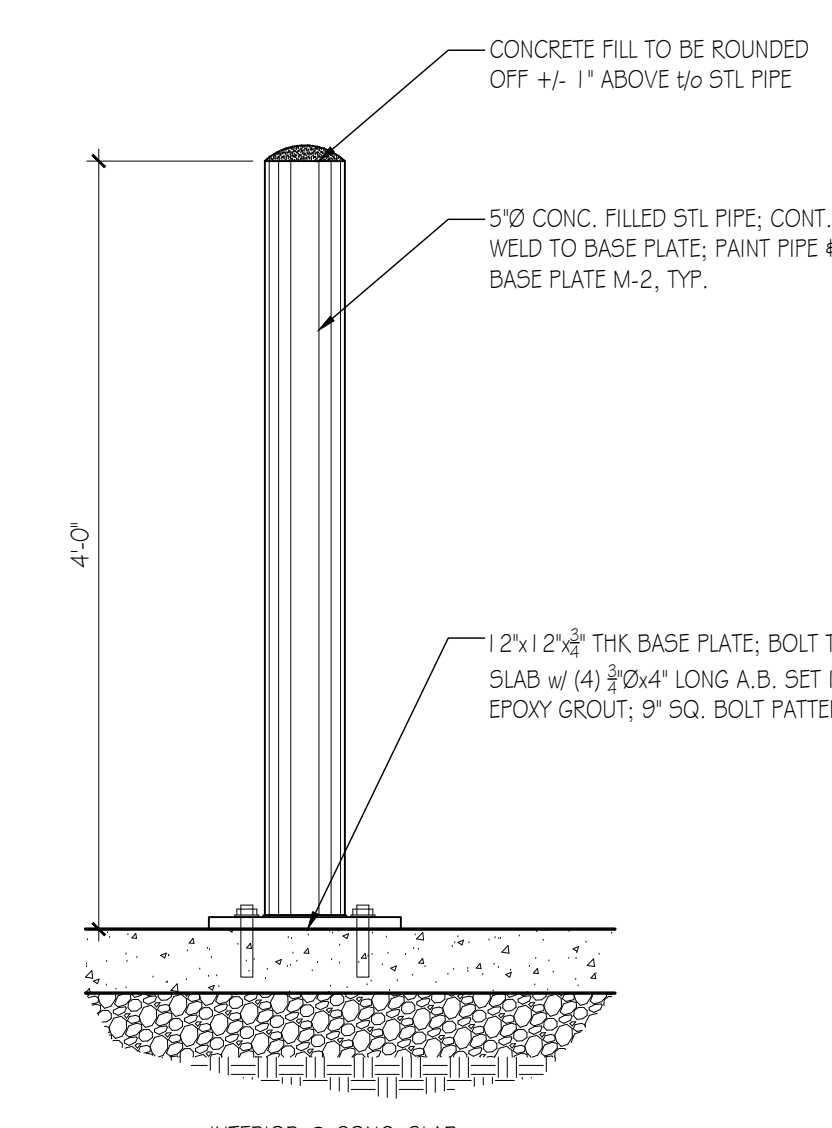
J TYP. SAW CUT DETAIL
Scale: 3" = 1'-0"



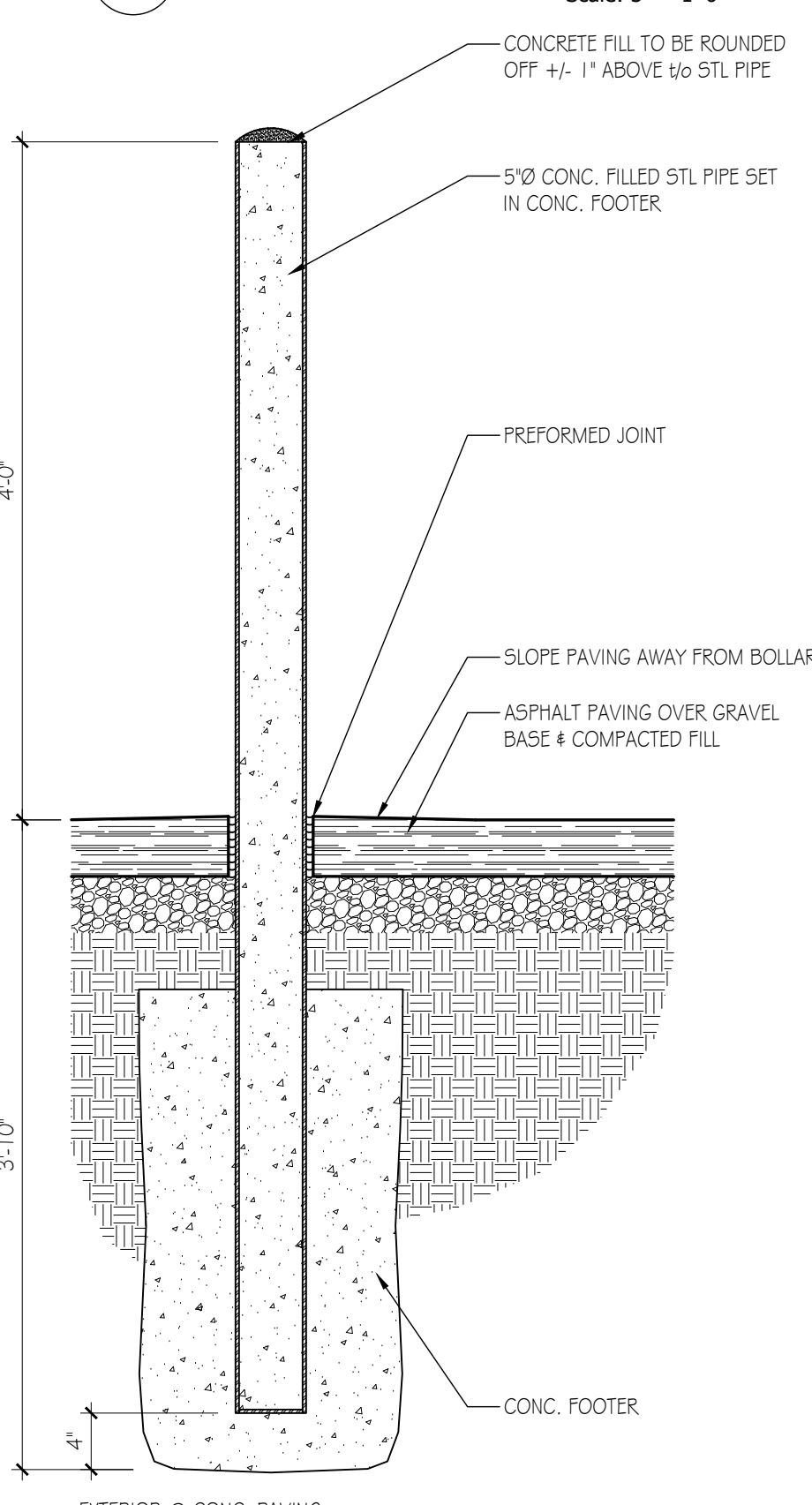
G TYP. TRENCH DRAIN DETAIL
Scale: 1 1/2" = 1'-0"



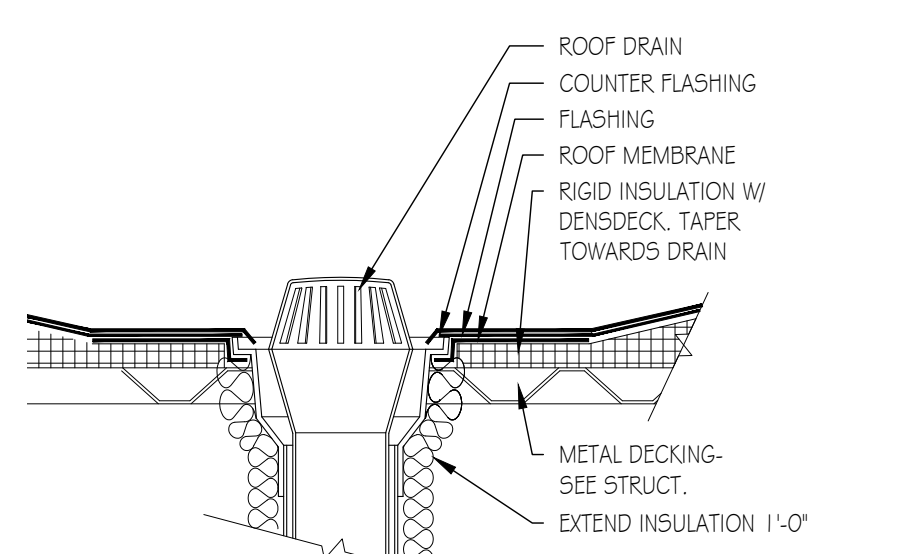
F TYP. AREA DRAIN DETAIL
Scale: 1 1/2" = 1'-0"



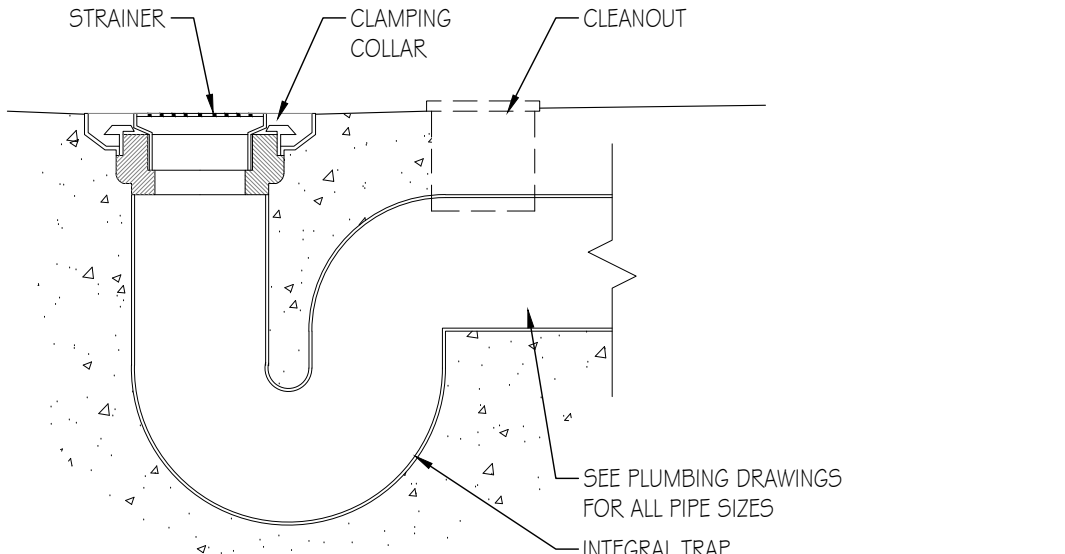
C TYP. SLAB @ OH DOOR
Scale: 1 1/2" = 1'-0"



A TYP. BOLLARD DETAIL
Scale: 1" = 1'-0"



E TYP. ROOF DRAIN DETAIL
Scale: 1 1/2" = 1'-0"



D TYP. FLOOR DRAIN DETAIL
Scale: 1 1/2" = 1'-0"

Bid Set	2023.07.27
No. Issue / Revision	Date
Drawn By:	LK
Checked By:	LH
Plot Date:	August 2, 2023

Sheet Number	A-500
Sheet Title	Typical Details & Wall Types
Project Number	CMA009a
File Name	A-500.dwg

INTERIOR MATERIAL SCHEDULE

TAG	MATERIAL	MANUFACTURER	SIZE	SPECIFICATION	REMARKS
CEILING					
ACT-1	ACOUSTIC CEILING TILE	USG	24" X 24" X 3/4"	COLOR: WHITE, EDGE DETAIL: (FLB); #419 FROST CLUMPLUS	GENERAL CEILING
GYP-1	GYPSUM BOARD CEILING			GYPSUM BOARD TO BE PAINTED	BULKHEAD WHERE NOTED
EXP-1	EXPOSED STRUCTURE			EXISTING EXPOSED CEILING TO BE PAINTED	PARTS & SERVICE DEPARTMENTS
FLOORING					
CT-1	CERAMIC TILE	DAL-TILE	12" X 24"	MEDIAN; CHARCOAL MN45 - MATTE, RUNNING BOND	TECH RESTROOM/LOCKER FLOOR TILE
CPT-1	CARPET	INTERFACE FLOOR	19" X 19"	COLOR: #10075G BIRCH; STYLE: 123G4, ABOVE BOARD	CUSTOMER LOUNGE
VCT-1	VINYL COMPOSITE TILE	MANNINGTON COMMERCIAL	12" X 12"; 1/8" THICKNESS	COLOR: PEWTER, 9112; TOUCHSTONE	TECH BREAK
SC-1	SEALED CONCRETE	SCOFIELD SYSTEMS		SCOFIELD FORMULA ONE LITHIUM DENSIFIER MP & SCOFIELD FORMULA ONE FINISH COAT	PARTS, SERVICE
WALL					
CT-2	CERAMIC TILE	DAL-TILE	12" X 24"	MEDIAN; GRAY MD44, POLISHED, STACK BOND	TECH RESTROOM/LOCKER WALL TILE
BASE					
RB-1	RESILIENT BASE	ROPPE CORPORATION	4" HEIGHT; 1/8" THICKNESS	COLOR: 100 BLACK; PINNACLE STANDARD, RUBBER WALL BASE-TYPE TS	@ VCT-1 & CPT-1
GROUT					
GR-1	GROUT	MAPEI		COLOR: BLACK #5010	USED @ CT-1 & CT-2
PAINT					
P-1	INTERIOR PAINT	BENJAMIN MOORE		PRIMER: MULTI-PURPOSE LATEX PRIMER #N23; PAINT: AURA WATERBORNE INTERIOR PAINT - SATIN FINISH #52G; COLOR: PREVIEW WHITE DIAMOND OC-61	GENERAL WALLS
P-2	INTERIOR PAINT	BENJAMIN MOORE		PRIMER: SUPER SPEC MASONRY INTERIOR/EXTERIOR HI-BUILD BLOCK FILLER #20G; PAINT: AURA WATERBORNE INTERIOR PAINT - SEMI-GLOSS FINISH #52B; COLOR: CLASSIC 1B PELICAN GRAY #1612	SLAB TO 8'-0" IN SERVICE AREAS
P-3	INTERIOR PAINT	GLIDDEN PROFESSIONAL		PRIMER: 3010-1200 CONCRETE COATINGS CLOACK FILLER INTERIOR/EXTERIOR PRIMER; PAINT: 4346-0400 DEVGUARD; COLOR: #45BB 22/347 PORTUGUESE BLUE	ACCENT STRIPE SERVICE AREAS
P-4	INTERIOR PAINT	BENJAMIN MOORE		PRIMER: SUPER SPEC MASONRY INTERIOR/EXTERIOR HI-BUILD BLOCK FILLER #20G; PAINT: AURA WATERBORNE INTERIOR PAINT - SEMI-GLOSS FINISH #52B; COLOR: CLASSIC 1B GRAY TINT #1611	8'-8" TO DECK; PARTS DEPARTMENT & TECH FACILITIES
P-5	INTERIOR PAINT	BENJAMIN MOORE		PRIMER: WATERBORNE CEILING PAINT #50B; PAINT: AURA WATERBORNE INTERIOR PAINT - EGGSHELL FINISH #524; COLOR: CLASSIC 1B GRAY TINT #1611	EXPOSED STRUCTURE
MILLWORK					
PL-1	PLASTIC LAMINATE	WILSONART			TECH BREAK VERTICAL SURFACES
PL-2	PLASTIC LAMINATE	WILSONART			TECH BREAK COUNTERTOPS
SS-1	METAL	WILSONART			BRUSHED STAINLESS STEEL

GENERAL MATERIALS SCHEDULE NOTES

- ALL WALL & CEILING FINISHES MUST BE AS FOLLOWS PER IRC & VCC TABLE 603.11 w/ FLAME SPREAD INDEX BETWEEN 76-200 & SMOKE-DEVELOPED INDEX FROM 0-450:
- B USE AREA:
 - CLASS B @ INTERIOR EXIT STAIRWAYS, RAMPS & EXIT PASSAGEWAYS
 - CLASS C @ CORRIDORS, ENCLOSURE FOR EXIT ACCESS STAIRWAYS & ROOMS & ENCLOSED SPACES
 - S USE AREAS: CLASS C @ ALL LOCATIONS

- UNLESS NOTED OTHERWISE, PAINTED SURFACES SHALL BE PREPARED & FINISHED AS FOLLOWS:
 - GYPSUM WALLBOARD WALLS - 1 COAT PRIMER - 2 FINISH COATS - EGGSHELL FINISH
 - HOLLOW METAL DOOR FRAMES & PAINT GRADE WOOD DOORS - 1 COAT PRIMER - 2 FINISH COATS - SEMI-GLOSS FINISH
 - GYPSUM WALLBOARD CEILINGS - 1 COAT PRIMER - 2 FINISH COATS - FLAT FINISH - PT-2
 - EXPOSED CEILINGS - 2 FINISH COATS - FLAT FINISH - CLEAN & PREP ALL GALVANIZED METAL SURFACES AS REQ'D TO ENSURE PROPER PAINT ADHESION

- PROVIDE ATTIC STOCK OF CARPET TILE, VCT & ACOUSTICAL CEILING TILES TO OWNER PRIOR TO PROJECT CLOSEOUT (2%)
- PROVIDE EPOXY GROUT & SEALER @ ALL TILE AREAS
- RESTROOMS WALLS NOT RECEIVING TILE SHALL HAVE MOISTURE RESISTANT GREEN BOARD WITH SEMI-GLOSS PAINT

DOOR SCHEDULE

NUMBER	TYPE	DOOR								FRAME					REMARKS
		MATERIAL	WIDTH	HEIGHT	THK.	FINISH	UNDERCUT	HRDWR	MATERIAL	TYPE	FINISH	HJ	THRESH.		
103	A2	HM	PR 2'-10"	7'-8"	1 3/4"	NOTE 2	NOTE 1	1	HM	F1	NOTE 2	HU-1	TR-1	CLOSER w/ HOLD-OPEN	
104	A2	HM	PR 3'-0"	7'-0"	1 3/4"	NOTE 2	NOTE 1	1	HM	F1	NOTE 2	HU-2	TR-1	CLOSER w/ HOLD-OPEN	
106a	A2	HM	PR 3'-0"	7'-0"	1 3/4"	NOTE 2	NOTE 1	1	HM	F1	NOTE 2	HU-2	--	CLOSER w/ HOLD-OPEN, FLOOR STOP, VISION LITES	
106b	A2	HM	PR 3'-0"	7'-0"	1 3/4"	NOTE 2	NOTE 1	2	HM	F1	NOTE 2	HU-2	--	CLOSER w/ HOLD-OPEN, FLOOR STOP	
108a	B	STEEL/VINYL	PR 6'-0"	6'-0"	2"	NOTE 2	--	--	STEEL	--	NOTE 2	--	--		
108b	B	STEEL/VINYL	PR 6'-0"	6'-0"	2"	NOTE 2	--	--	STEEL	--	NOTE 2	--	--		
109a	C	ALUMGLASS	12'-0"	12'-0"	2"	CLEAR ANOD.	--	--	STEEL	--	NOTE 2	J-3	OH-1	PHOTO EYE CONTROL	
109b	A	HM	3'-0"	7'-0"	1 3/4"	NOTE 2	NOTE 1	3	HM	F1	NOTE 2	HU-2	TR-1	CLOSER	
109c	A	HM	3'-0"	7'-0"	1 3/4"	NOTE 2	NOTE 1	5	HM	F1	NOTE 2	HU-2	--	CLOSER w/ HOLD-OPEN, FLOOR STOP	
109d	A	HM	3'-0"	7'-0"	1 3/4"	NOTE 2	NOTE 1	3	HM	F1	NOTE 2	HU-2	TR-1	CLOSER	
109e	C	ALUMGLASS	12'-0"	12'-0"	2"	CLEAR ANOD.	--	--	STEEL	--	NOTE 2	J-3	OH-1		
110a	A	HM	3'-0"	7'-0"	1 3/4"	NOTE 2	NOTE 1	3	HM	F1	NOTE 2	HU-2	TR-1	CLOSER	
110b	C	ALUMGLASS	12'-0"	12'-0"	2"	CLEAR ANOD.	--	--	STEEL	--	NOTE 2	J-3	OH-1		
110c	C	ALUMGLASS	12'-0"	12'-0"	2"	CLEAR ANOD.	--	--	STEEL	--	NOTE 2	J-3	OH-1		
110d	A	HM	3'-0"	7'-0"	1 3/4"	NOTE 2	NOTE 1	3	HM	F1	NOTE 2	HU-2	TR-1	CLOSER	
111	A	HM	3'-0"	7'-0"	1 3/4"	NOTE 2	NOTE 1	3	HM	F1	NOTE 2	HU-2	TR-1	CLOSER	
112	A	HM	3'-0"	7'-0"	1 3/4"	NOTE 2	NOTE 1	4	HM	F1	NOTE 2	HU-2	TR-1	CLOSER	
113	A	HM	3'-0"	7'-0"	1 3/4"	NOTE 2	NOTE 1	5	HM	F1	NOTE 2	HU-2	--	CLOSER w/ HOLD-OPEN, FLOOR STOP, VISION LITE	
114	A	HM	3'-0"	7'-0"	1 3/4"	NOTE 2	NOTE 1	5	HM	F1	NOTE 2	HU-2	TR-2	CLOSER w/ HOLD-OPEN, FLOOR STOP	
115	A	HM	3'-0"	7'-0"	1 3/4"	NOTE 2	NOTE 1	7	HM	F1	NOTE 2	HU-2	TR-2	CLOSER, FLOOR STOP	
116	A	HM	3'-0"	7'-0"	1 3/4"	NOTE 2	NOTE 1	6	HM	F1	NOTE 2	HU-2	TR-2	CLOSER, FLOOR STOP	

HARDWARE

- HARDWARE SET TYPES GENERAL NOTES:**
- SEE DOOR SCHEDULE FOR CLOSER, HOLD-OPEN & FLOORWALL STOP REQUIREMENTS.
 - ALL EXTERIOR DOORS RECEIVE GASKETING, SWEEPS & SADDLE THRESHOLDS, INTERIOR DOORS DO NOT, U.O.N.
 - DOOR HARDWARE TO EQUAL SCHLAGE AL SERIES LEVER LOCKS FOR ALL DOORS (JUPITER DESIGN- FINISH 626 BRUSHED CHROMIUM PLATED).
- HARDWARE TYPE 1:**
PAIR DOORS / HM FRAME
3 PR 1/2 HINGES
2 SILENCERS
1 LOCKSET - AL 50PD ENTRANCE LOCK
MANUAL FLUSH BOLT
DUST-PROOF STRIKE
- HARDWARE TYPE 2:**
PAIR DOORS / HM FRAME
3 PR 1/2 HINGES
2 SILENCERS
1 LOCKSET - AL 105 PASSAGE LATCH
- HARDWARE TYPE 3:**
SINGLE DOOR / HM FRAME
PR 1/2 HINGES
3 SILENCERS
1 LOCKSET - AL 50PD ENTRANCE LOCK
- HARDWARE TYPE 4:**
SINGLE DOOR / HM FRAME
PR 1/2 HINGES
3 SILENCERS
1 LOCKSET - AL 80PD STOREROOM LOCK
- HARDWARE TYPE 5:**
SINGLE DOOR / HM FRAME
PR 1/2 HINGES
3 SILENCERS
1 LOCKSET - AL 105 PASSAGE LATCH
- HARDWARE TYPE 6:**
SINGLE DOOR / HM FRAME
PR 1/2 HINGES
3 SILENCERS
1 LOCKSET - AL PRIVACY LATCH
- HARDWARE TYPE 7:**
SINGLE DOOR / HM FRAME
PR 1/2 HINGES
3 SILENCERS
PUSH PLATE
WIRE PULL

GENERAL NOTES

- G.C. TO REVIEW ALL HARDWARE & KEYING WITH OWNER PRIOR TO PLACING FINAL ORDER; CONTRACTOR SHALL ORGANIZE A KEYING CONFERENCE w/ OWNER PRIOR TO CLOSE-OUT
- SEE EXTERIOR MATERIALS SCHEDULE (SHEET A-200 & A-201) FOR EXTERIOR DOOR & FRAME FINISH INFO
- PROVIDE SOLID FIRE-RETARDANT TREATED WOOD BLOCKING BEHIND ALL WALL STOPS IN METAL STUD WALLS WHERE FINISHED w/ GYPSUM WALLBOARD
- IN THE CASE OF DISCREPANCIES OR ERRORS, CONTACT ARCHITECT FOR CLARIFICATION; PROVIDE SUBMITTALS OF HARDWARE COMPONENTS TO ARCHITECT FOR APPROVAL
- HARDWARE SHALL COMPLY w/ ALL CODES FOR OPERATION & HANDICAP ACCESSIBILITY AS REQUIRED
- SEE DOOR SCHEDULE REMARKS FOR CLOSER, HOLD-OPEN & FLOORWALL STOP REQUIREMENTS
- PROVIDE GASKETING, DOOR SWEEPS, LOCK GUARDS & SADDLE THRESHOLD @ ALL EXTERIOR HM DOORS
- UNLESS NOTED OTHERWISE, PROVIDE HARDWARE SETS AS FOLLOWS
 - HM & SOW DOORS: DORMA C600TC SERIES w/ SATIN NICKEL FINISH OR EQUAL, U.O.N.
 - MONOLITHIC GLASS DOORS: DORMA LOCKING LADDER PULLS (48") w/ LOCKING PULL & THUMB LATCH OR EQUAL; CLOSERS (IF SPECIFIED) SHALL BE OVERHEAD CONCEALED STYLE, U.O.N.
 - STOREFRONT GLASS DOORS: KAWNEER WIRE PUSH / PULL SETS w/ THUMB LATCH OR EQUAL, U.O.N.
- EXTERIOR DOORS SHALL HAVE THE FOLLOWING PROPERTIES:
 - OPAQUE DOORS (GLAZING MAX. 50%) - SWINGING: MAX. U VALUE = 0.61
 - OPAQUE DOORS (GLAZING MAX. 50%) - NON-SWINGING: MIN. R VALUE = R-4.75
 - GLAZED DOORS (GLAZING MIN. 50%) - SWINGING: MAX. U VALUE = 0.77 & MAX. SHGC = 0.40
 - AIR LEAKAGE RATINGS:
 - SWINGING DOORS: MAX. 0.20 cfm/sq. ft. WHEN TESTED IN ACCORDANCE w/ AAMAWDMAC/CSA 1011.5.2/A440 @ 6.24 psf OR 0.30 cfm/sq. ft. WHEN TESTED IN ACCORDANCE w/ NFRC 400
 - OVERHEAD (GARAGE) DOORS: MAX. 0.40 cfm/sq. ft. WHEN TESTED IN ACCORDANCE w/ ANSI/DASMA 105, NFRC 400 OR ASTM E 283 @ 1.57 psf
 - ROLLING DOORS: MAX. 40 cfm/sq. ft. WHEN TESTED IN ACCORDANCE w/ ANSI/DASMA 105, NFRC 400 OR ASTM E 283 @ 1.57 psf

KEYED NOTES

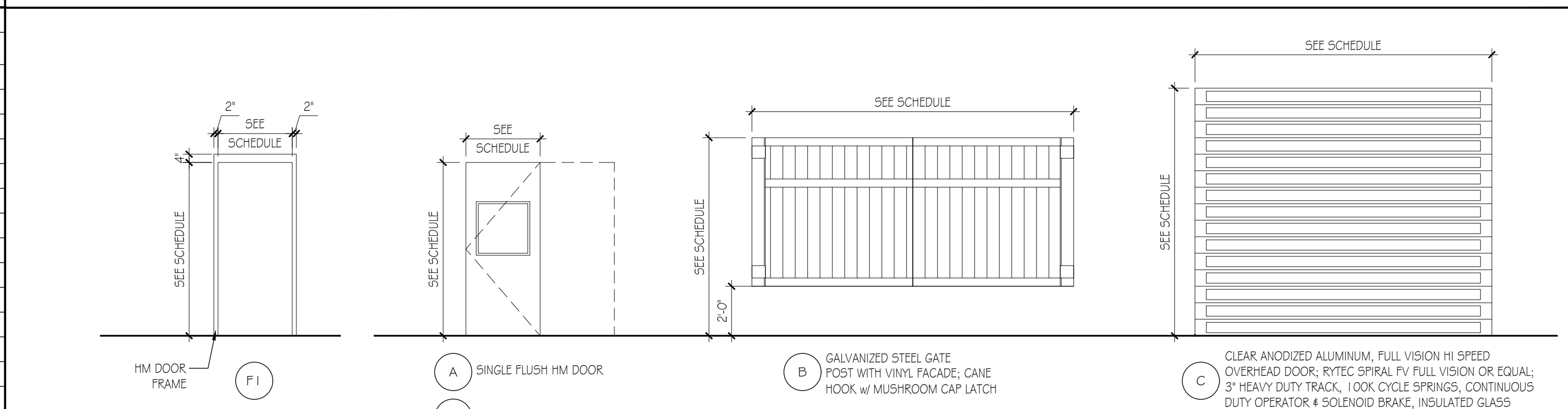
- SEE MECHANICAL DRAWINGS FOR ANY UNDERCUTS AND/OR LOUVERS.
- FINISH TO MATCH ADJACENT WALL; SEE FINISH MATERIAL SCHEDULES FOR INTERIOR FINISH, A200 & A-201 FOR EXTERIOR FINISH - PAINT; FINISH SHALL BE SEMI-GLOSS

DOOR SCHEDULE NOTES

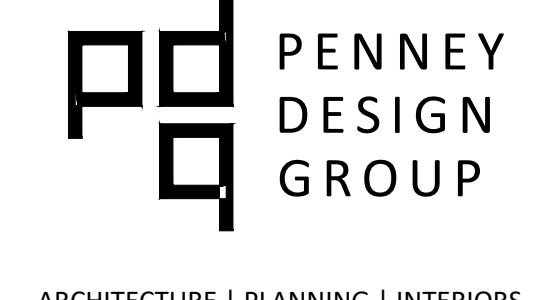
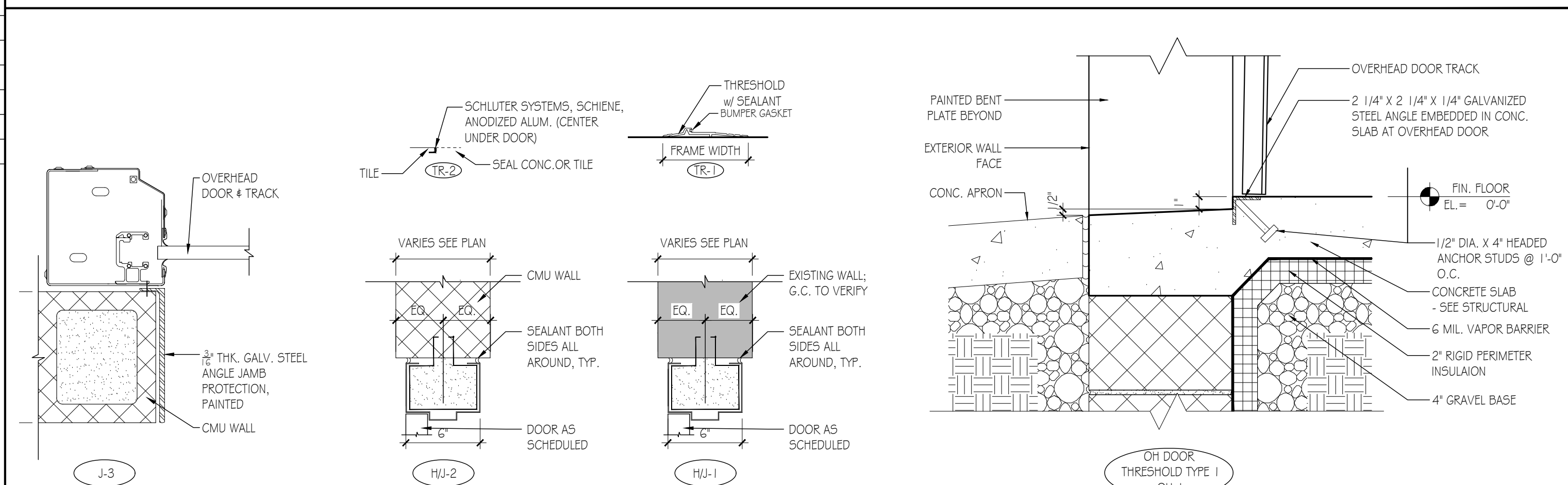
INTERIOR FINISH SCHEDULE

RM #	ROOM NAME	FLOOR	BASE	WALL	CEILING	MILLWORK	REMARKS
						COUNTERTOP	VERTICAL SURFACES
101	CUSTOMER LOUNGE	CPT-1	CTB-1	P-1	ACT-1		
102	PARTS DEPARTMENT	SC-1	--	P-4	EXP-1		
103	PARTS RECEIVING	SC-1	--	P-4	EXP-1		
104	PARTS DEPARTMENT	SC-1	--	P-4	EXP-1		
105	PARTS DEPARTMENT	SC-1	--	P-4	EXP-1	SS-1	
106	TECH HALL	SC-1	--	P-4	EXP-1		
107	SERVICE DEPARTMENT	SC-1	--	P-2, P-3, P-4	EXP-1		
108	AIR/OIL	SC-1	--	P-4	EXP-1		
109	SERVICE DEPARTMENT	SC-1	--	P-2, P-3, P-4	EXP-1		
110	SERVICE DEPARTMENT	SC-1	--	P-2, P-3, P-4	EXP-1		
111	WASH BAY	SC-1	--	P-2, P-3, P-4	EXP-1		
112	SPRINKLER	SC-1	--	P-4	EXP-1		
113	HALL	SC-1	--	P-4	ACT-1		
114	TECH BREAK	VCT-1	RB-1	P-4	GYP-1, ACT-1	PL-2	PL-1
115	TECH LOCKER & RESTROOM	CT-1	--	CT-2	ACT-1		
116	WOMEN'S TECH	CT-1	--	CT-2	ACT-1		
MEZZANINE							
201	PARTS DEPARTMENT (e)	EXIST	--	P-4	EXP-1		
202	PARTS DEPARTMENT	SC-1	--	P-4	EXP-1		
203	PARTS DEPARTMENT	SC-1	--	P-4	EXP-1		
STAIR							
S-1	STAIR	SC-1	--	P-4	EXP-1		

DOOR TYPES



DOOR & FRAME DETAILS



ARCHITECTURE | PLANNING | INTERIORS

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3985 Valley Pike
Winchester, VA 22602

CMA Properties

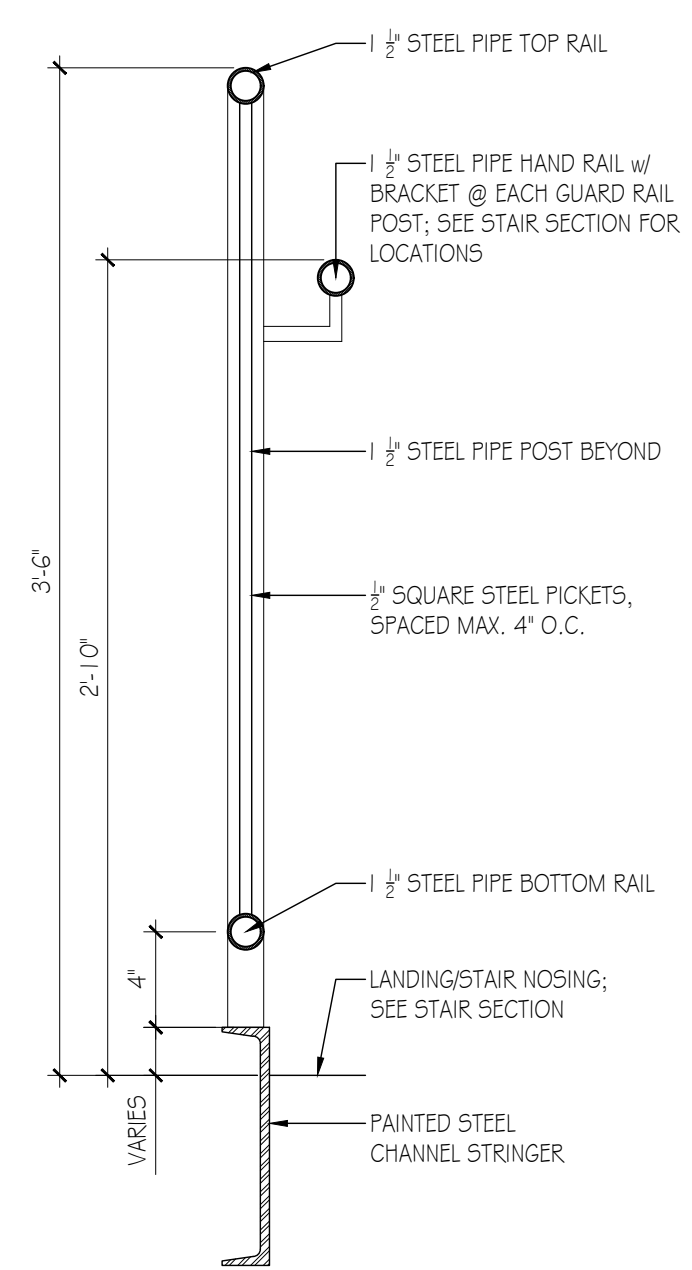
100 Myers Drive
Charlottesville, VA 22901

I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Virginia, license number: 040104619, expiration date: 31 October, 2024.

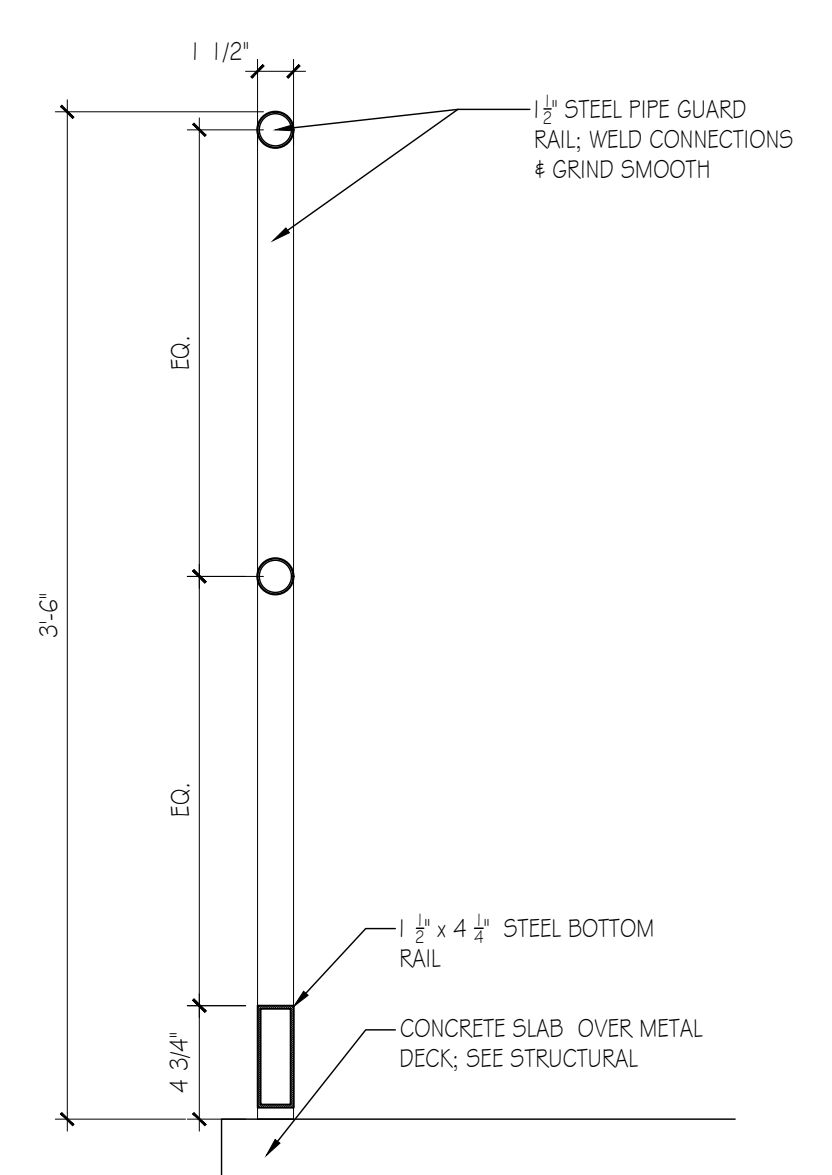
Bid Set 2023.07.27
No. Issue / Revision Date
Drawn By: LK
Checked By: LH
Plot Date: August 2, 2023

Sheet Number
A-610
Sheet Title
Door, Materials & Int Finish Schedules

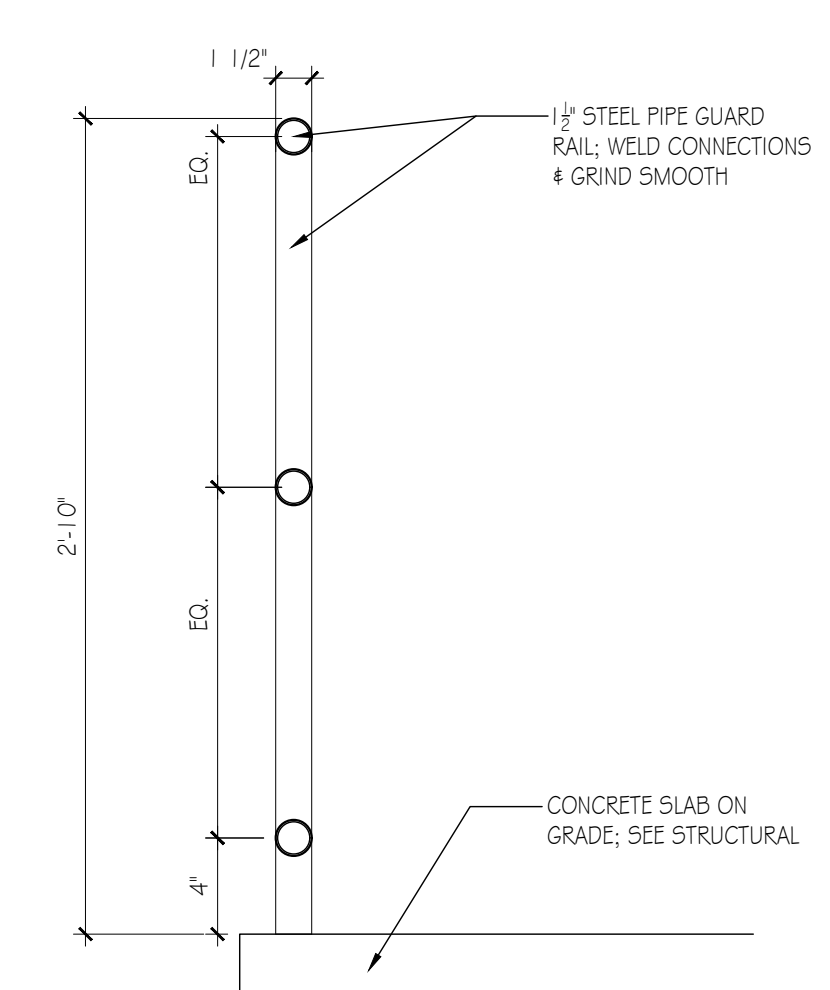
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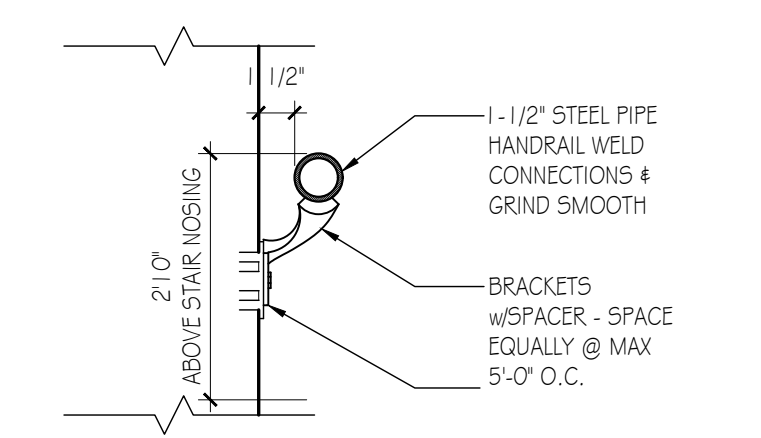
E HAND/GUARD RAIL DETAIL
Scale: 1 1/2" = 1'-0"



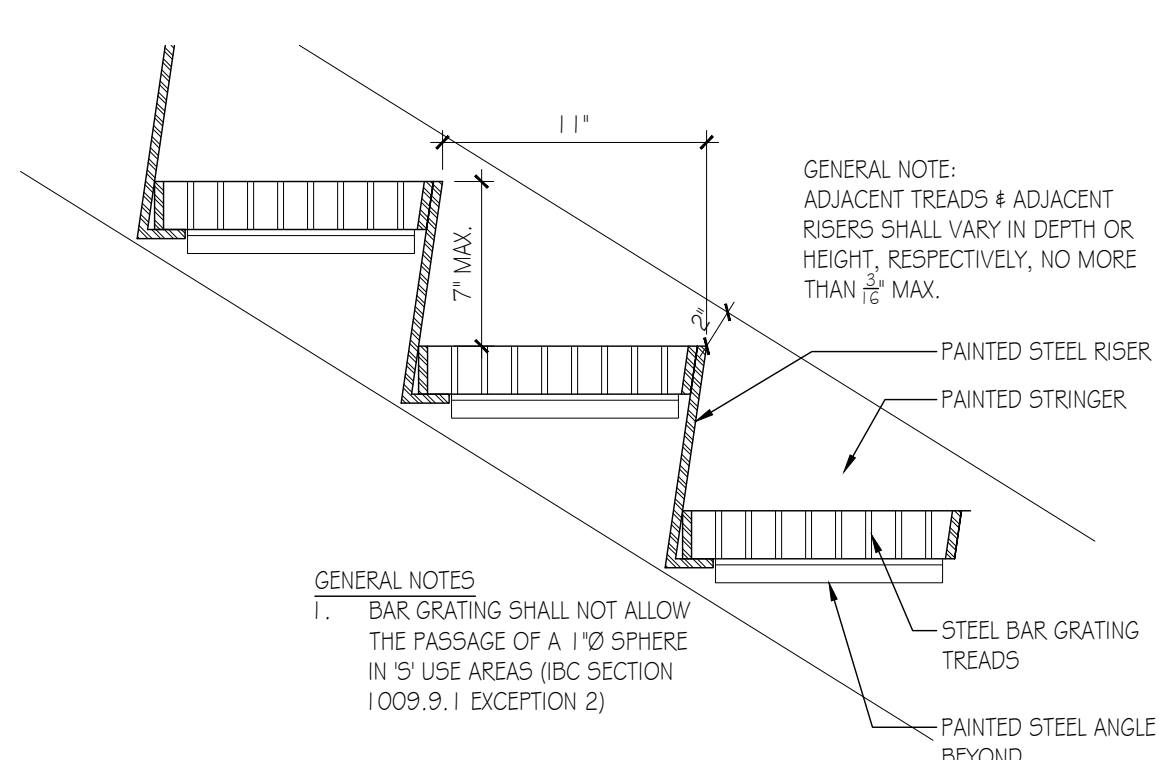
D GUARD RAIL DETAIL
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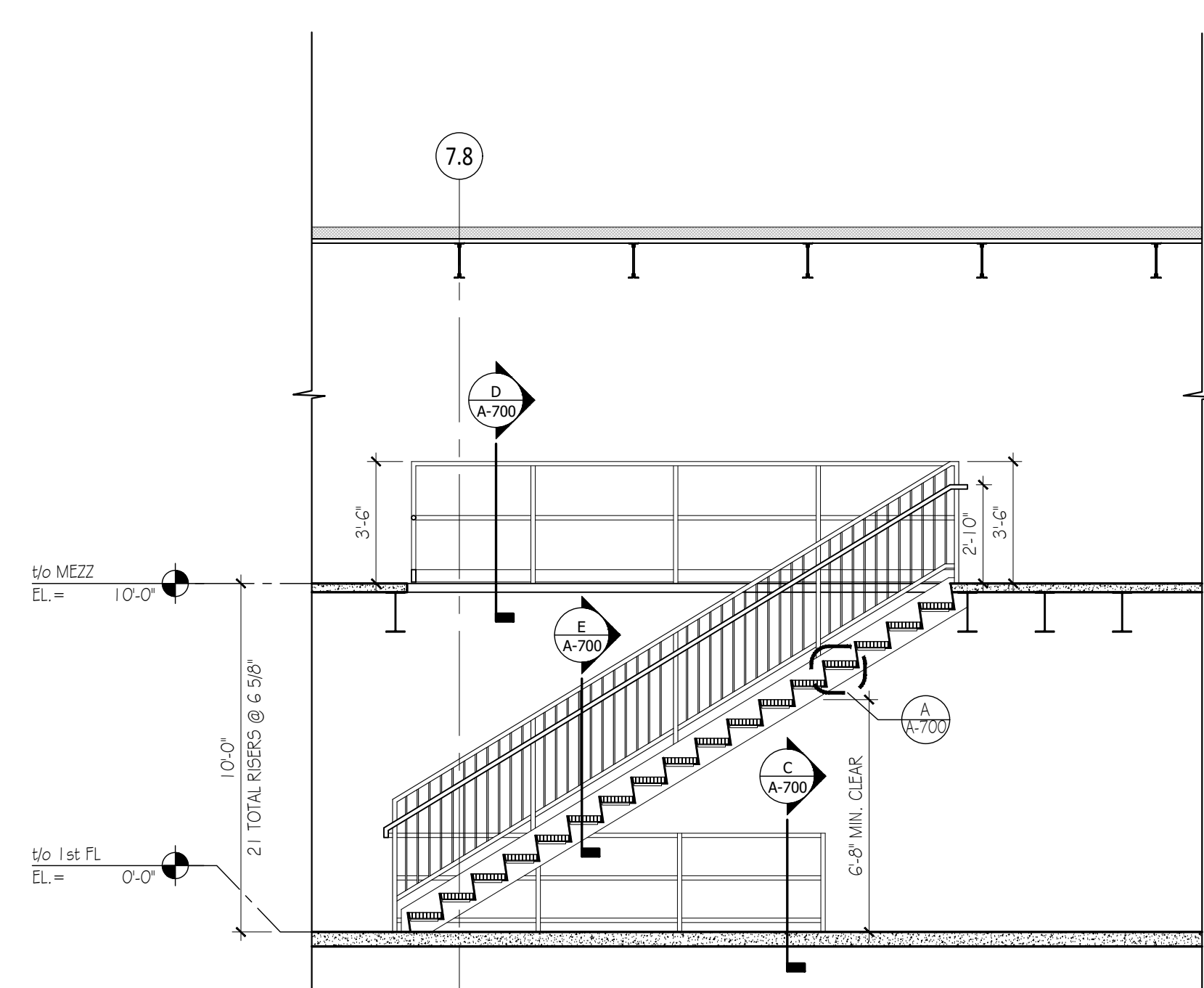
C CANE RAIL DETAIL
Scale: 1 1/2" = 1'-0"



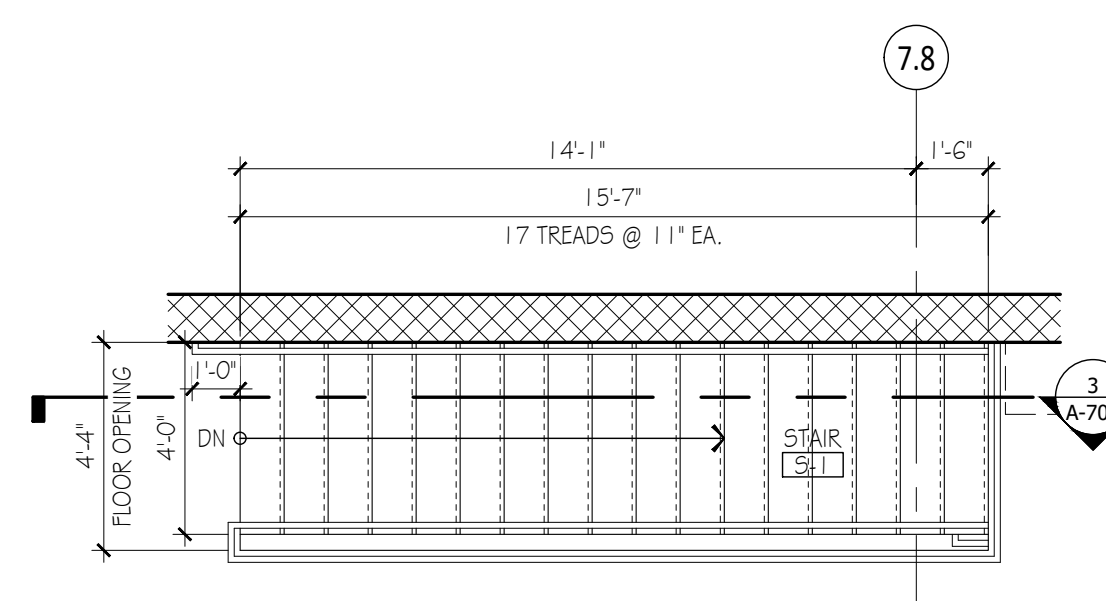
B HANDRAIL DETAIL
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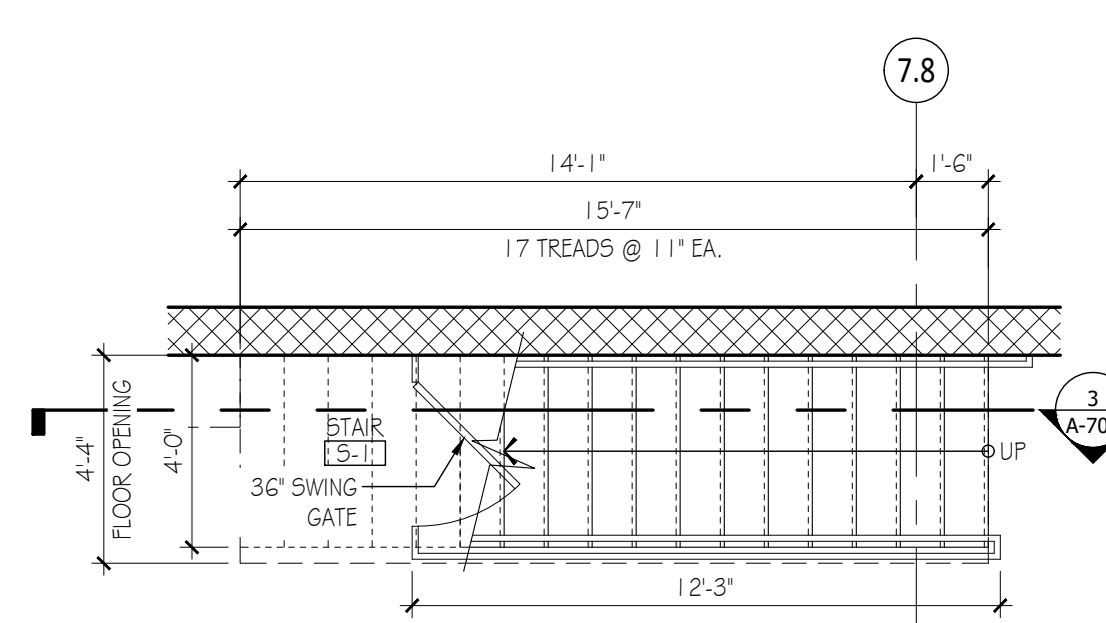
A TREAD DETAIL
Scale: 1 1/2" = 1'-0"



3 STAIR S-1 SECTION
Scale: 1/4" = 1'-0"



2 STAIR S-1 MEZZ. PLAN
Scale: 1/4" = 1'-0"



1 STAIR S-1 FIRST FLOOR PLAN
Scale: 1/4" = 1'-0"