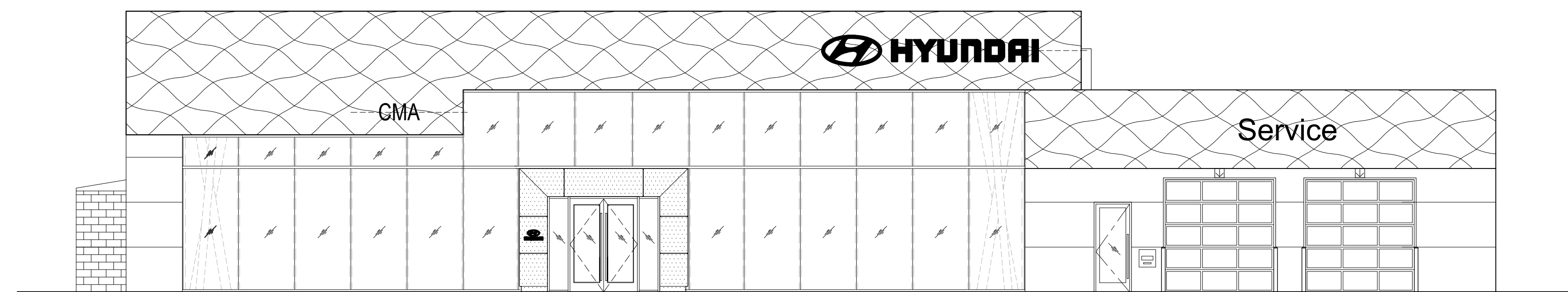


# CMA's HYUNDAI OF WINCHESTER ALTERATION & ADDITION

3951 VALLEY PIKE  
WINCHESTER, VA 22602



CMA's Hyundai Winchester  
Addition & Alteration  
3951 Valley Pike  
Winchester, VA  
...

CMA Properties

100 Myers Drive  
Charlottesville, VA 22901

I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Virginia, license number: 040204619, expiration date: December 31, 2023.

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Bid Set 2023.07.27

HMA 75% Submission 2023.03.31

No.	Issue / Revision	Date

Drawn By:

Checked By:

Plot Date: August 2, 2023

Sheet Number

**G-001**

Sheet Title

**Cover  
Sheet**

Project Number

CMA008a

File Name

G-001.dwg

PROJECT ABBREVIATIONS table listing various construction abbreviations and their corresponding full names.

PROJECT ABBREVIATIONS table with a second section containing symbols and materials legends for drawing interpretation.



GENERAL NOTES section containing 41 numbered notes detailing construction requirements, coordination, and safety protocols.

CODES/YEAR (EDITION) & SUPPLEMENTS table listing applicable codes for Building, Accessibility, Fire Protection, Mechanical, Plumbing, Electrical, Energy, and Fuel Gas.

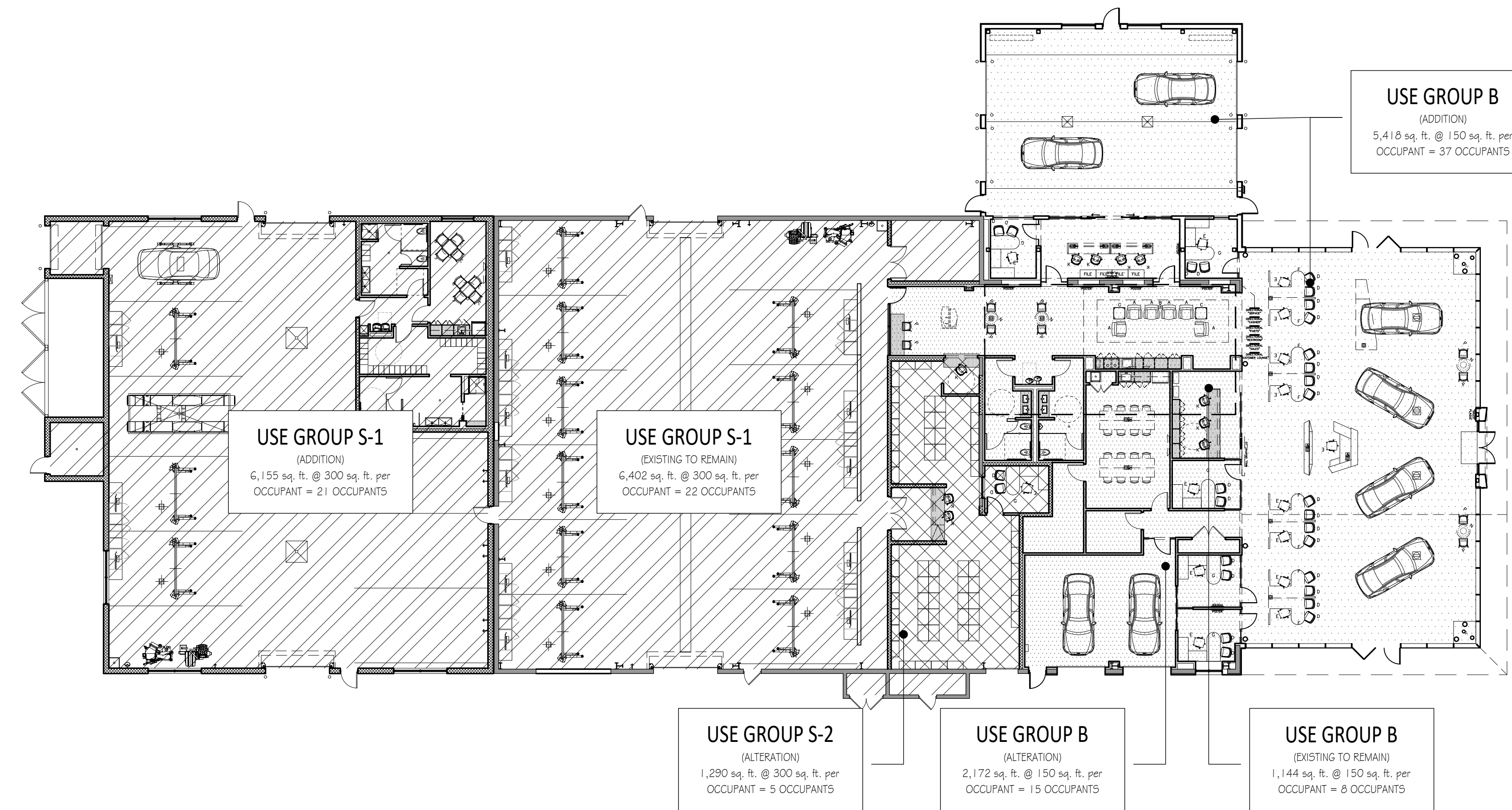
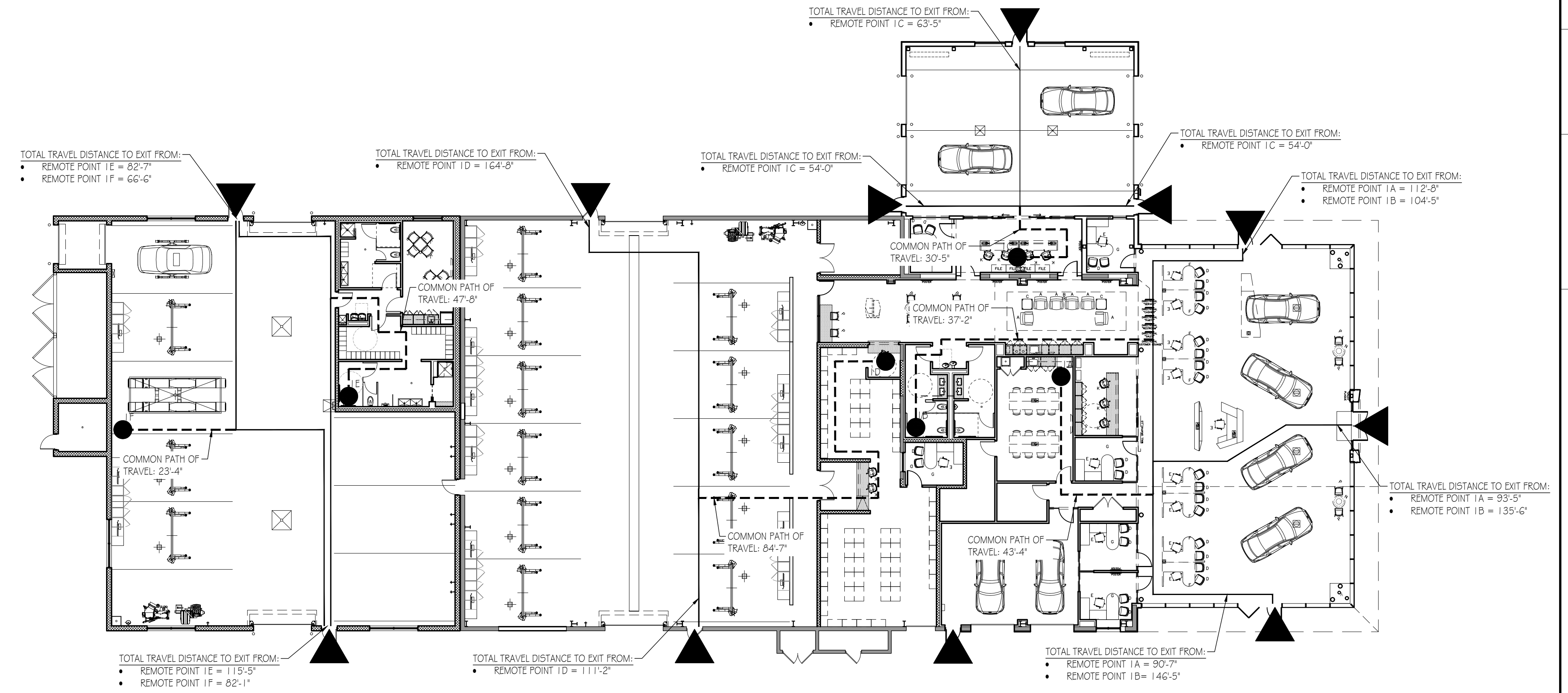
PROJECT DESCRIPTION & CODE ANALYSIS section including project description, use and occupancy classification, building height and area analysis, and plumbing fixture count.

DRAWING INDEX section containing a detailed grid of drawing titles and sheet numbers, such as COVER SHEET, DEMOLITION, ARCHITECTURAL, STRUCTURAL, MECHANICAL, PLUMBING, and ELECTRICAL.

Right margin area containing Penney Design Group logo, project location (8120 Woodmont Avenue), vertical text 'CMA's Hyundai Winchester Addition & Alteration', address '3951 Valley Pike Winchester, VA', CMA Properties logo, and Bid Set information (2023.03.31).

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Project information box including Bid Set (2023.07.27), Issue/Revision table, Sheet Number (G-002), Sheet Title (Project Information), and Project/Sheet numbers.

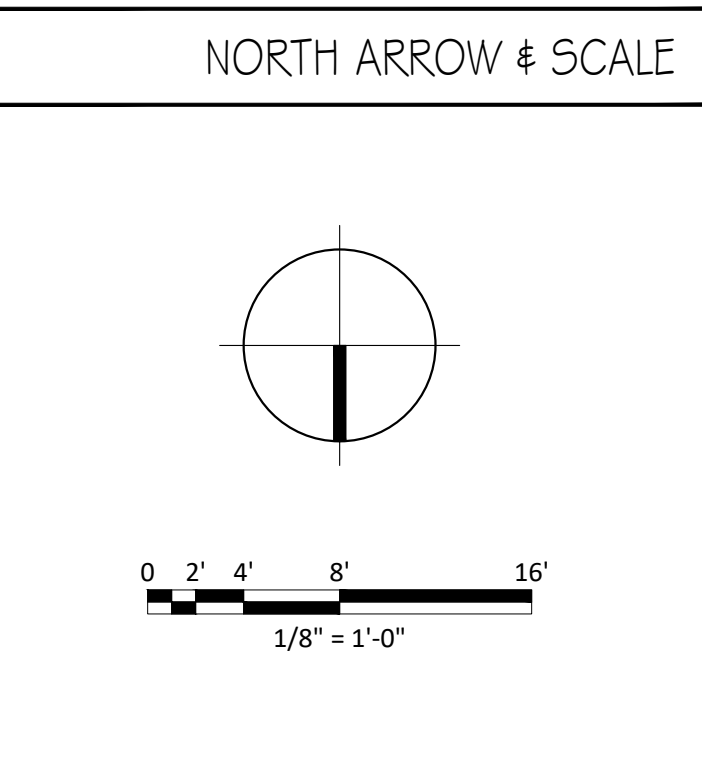


USE # EGRESS PLAN LEGEND	
	USE GROUP B - MOTOR VEHICLE SHOWROOM AND OFFICES
	USE GROUP S-1 - MOTOR VEHICLE REPAIR GARAGE
	USE GROUP S-2 - PARTS STORAGE
	EXIT # REMOTE POINT
	PATH OF TRAVEL
	COMMON PATH OF TRAVEL

FLOOR PLAN LEGEND	
	NEW DOOR # TAG - SEE DOOR SCHEDULE
	EXISTING DOOR TO REMAIN
	EXISTING DOOR TO BE DEMOLISHED
	NEW PARTITION - TYPE I U.O.N.
	EXISTING WALL/PARTITION TO REMAIN
	EXISTING WALL/PARTITION TO BE DEMOLISHED
	AREA NOT IN CONTRACT - NO WORK PROPOSED

**GENERAL NOTES**

- FIRST FLOOR SLAB ELEVATION SHALL BE REFERRED TO AS 0'-0"; ALL ELEVATION HEIGHTS IN THE PROJECT ARE REFERENCED FROM SHOWROOM FINISHED FLOOR ELEVATION, U.O.N.
- ALL DIMENSIONS ARE TO FACE OF FINISHED SURFACE, UNLESS NOTED OTHERWISE.
- ALL INTERIOR PARTITIONS ARE TYPE I U.O.N.
- OUTSIDE EDGE OF ALL DOOR FRAMES @ METAL STUD WALLS TO BE 3" FROM ADJACENT WALL, UNLESS NOTED OTHERWISE.
- OUTSIDE EDGE OF ALL DOOR FRAMES @ ALL MASONRY WALLS TO BE 4" FROM ADJACENT WALL, UNLESS NOTED OTHERWISE.
- SEE A-200 SERIES SHEET FOR EXTERIOR BUILDING ELEVATIONS
- SEE A-300 SERIES SHEETS FOR BUILDING & WALL SECTIONS
- SEE A-400 SERIES SHEETS FOR RESTROOM, MILLWORK, & GLAZING DETAILS
- SEE A-500 SERIES SHEETS FOR TYPICAL # NOTED DETAILS (COLUMNS, BULKHEADS, ETC.)
- SEE A-600 SERIES SHEETS FOR MATERIAL, FINISH, DOOR & FURNITURE SCHEDULES
- SEE A-700 SERIES SHEETS FOR VERTICAL CIRCULATION DETAILS



Bid Set	2023.07.27
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No. Issue / Revision	Date
Drawn By:	LH
Checked By:	JP
Plot Date:	August 2, 2023

Sheet Number  
**G-003**  
Sheet Title  
**Use & Egress Plans**

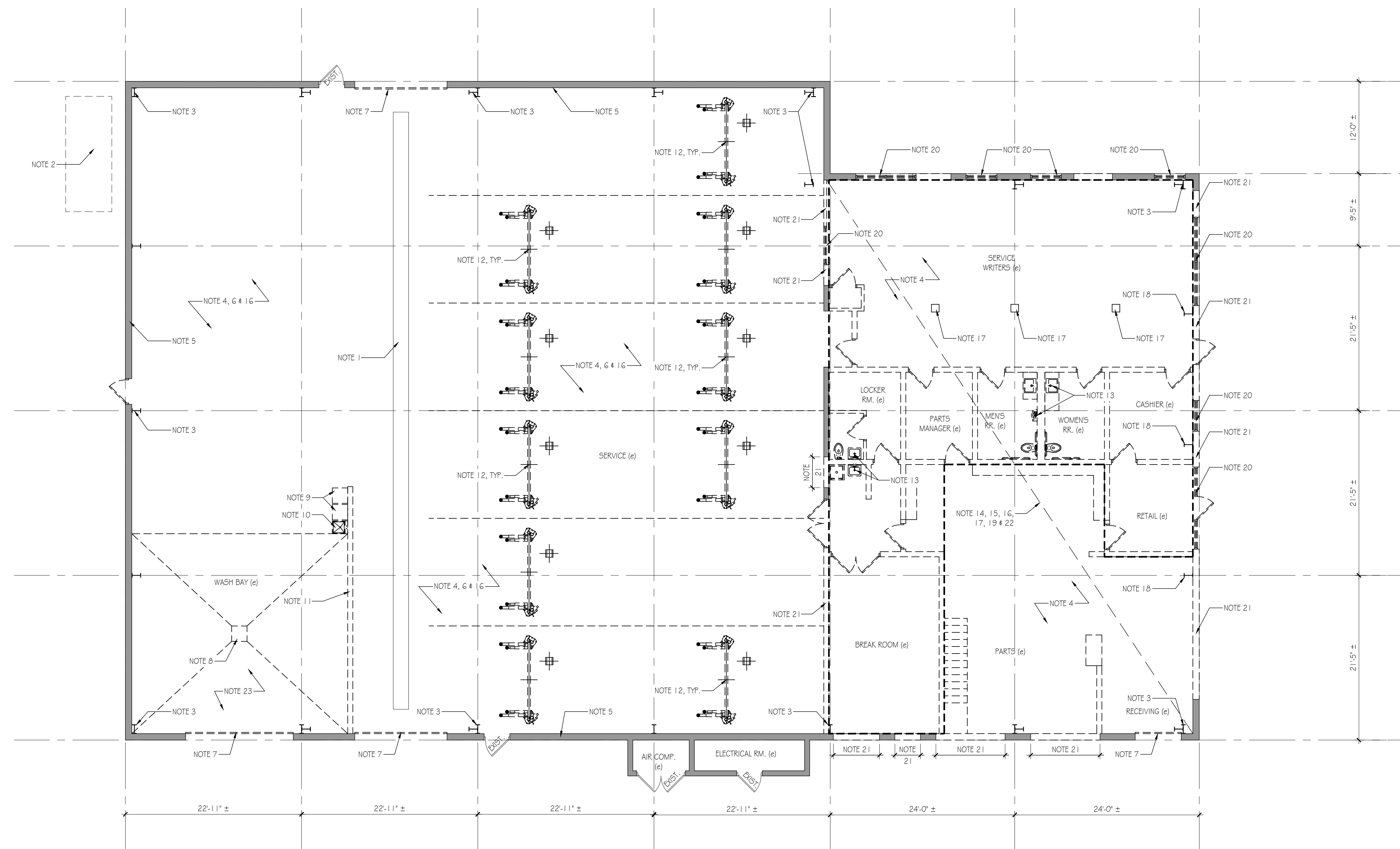
Project Number CMA008a	File Name G-003.dwg
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**CMA's Hyundai Winchester**  
Addition & Alteration  
3951 Valley Pike  
Winchester, VA

**CMA Properties**

100 Myers Drive  
Charlottesville, VA 22901

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**1 DEMOLITION PLAN**

Scale: 1/8" = 1'-0"

DEMO PLAN NOTES		GENERAL DEMOLITION NOTES	FLOOR PLAN LEGEND	GENERAL NOTES	NORTH ARROW & SCALE
<ol style="list-style-type: none"> <li>EXISTING TRENCH DRAIN TO REMAIN.</li> <li>EXISTING OIL TANK TO BE RELOCATED.</li> <li>EXISTING COLUMNS TO REMAIN, U.N.O.; CLEAN &amp; PREP TO RECEIVE NEW PAINT WHERE EXPOSED; SEE PROPOSED.</li> <li>EXISTING SLAB TO REMAIN, TYP.; CLEAN &amp; PREP TO RECEIVE NEW FINISHES.</li> <li>EXISTING EXTERIOR WALL TO REMAIN WHERE NOTED; CLEAN &amp; PREP TO RECEIVE NEW FINISHES.</li> <li>EXISTING PRE-ENGINEERED CEILINGROOF TO REMAIN, TYP.; CLEAN &amp; PREP TO RECEIVE NEW PAINT IN EXPOSED CEILING AREAS; SEE PROPOSED.</li> <li>REMOVE EXISTING OH DOOR, TRACK &amp; FRAME; SEE PROPOSED.</li> <li>REMOVE EXISTING FLOOR DRAIN, CAP PLUMBING BELOW SLAB.</li> <li>REMOVE EXISTING WASHER/DRYER, G.C. TO COORDINATE WITH OWNER.</li> <li>REMOVE EXISTING SERVICE SINK.</li> <li>REMOVE EXISTING HALF WALL, PATCH &amp; REPAIR EXISTING SLAB AS REQUIRED.</li> <li>REMOVE EXISTING LIFTS, G.C. TO COORDINATE WITH OWNER.</li> <li>REMOVE EXISTING PLUMBING FIXTURES &amp; ACCESSORIES, CAP PLUMBING BELOW SLAB.</li> <li>REMOVE EXISTING PARTITIONS, DOORS &amp; FRAMES AS NOTED.</li> <li>REMOVE EXISTING CEILING FINISH.</li> <li>REMOVE EXISTING LIGHTING, TYP.</li> <li>REMOVE EXISTING PARTS MEZZANINE COLUMNS; SEE STRUCTURAL &amp; PROPOSED.</li> <li>REMOVE EXISTING END-WALL COLUMNS; SEE STRUCTURAL &amp; PROPOSED.</li> <li>REMOVE ENTIRETY OF EXISTING HARD-DECK MEZZANINE, INCLUDING STAIRS.</li> <li>REMOVE EXISTING STOREFRONT WINDOWS, DOORS &amp; FRAMES; SEE PROPOSED.</li> <li>REMOVE PORTION OF EXISTING WALL; SEE PROPOSED FOR EXTENTS.</li> <li>REMOVE EXISTING PART SHELVING, G.C. TO COORDINATE WITH OWNER.</li> <li>SLOPING SLAB TO BE LEVELLED; SEE STRUCTURAL.</li> </ol>	<ul style="list-style-type: none"> <li>THE CONTRACTOR IS TO PROVIDE ALL WORK SHOWN ON THE DRAWINGS OR INFERRABLE THEREFROM. THE WORK IS TO BE COMPLETE &amp; FINISHED IN A TIMELY MANNER. ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE CODES.</li> <li>THE SPACE SHALL BE INSPECTED BY THE CONTRACTOR &amp; SUBCONTRACTORS TO REVIEW THE EXTENT OF THE DEMOLITION OF THE FLOORS, CEILINGS, PARTITIONS, MECHANICAL, PLUMBING, &amp; ELECTRICAL WORK. ALL DEFICIENCIES OR CONCERNS SHALL BE REPORTED TO THE OWNER &amp; ARCHITECT IN WRITING PRIOR TO SUBMITTING A BID FOR WORK. FAILURE TO NOTIFY SAME SHALL CONSTITUTE ACCEPTANCE OF THE CONTRACT DOCUMENTS &amp; ACKNOWLEDGEMENT OF EXISTING CONDITIONS FOR THIS PROJECT.</li> <li>ALL AREAS ADJACENT TO THE WORK AREAS SHALL BE PROTECTED DURING DEMOLITION, &amp; IF DAMAGED DURING DEMOLITION, SHALL BE REPLACED OR RESTORED TO THE ORIGINAL CONDITION.</li> <li>THE SITE &amp; BUILDING SHALL BE KEPT IN AN ORDERLY MANNER AT ALL TIMES. ALL DEBRIS SHALL BE REMOVED FROM THE SITE &amp; DISPOSED OF LEGALLY. THE CONTRACTOR SHALL INVESTIGATE THE SITE FOR THE PRESENCES OF ASBESTOS. IF FOUND, ASBESTOS SHALL BE REMOVED &amp; DISPOSED OF IN ACCORDANCE WITH ALL FEDERAL &amp; LOCAL LAWS.</li> <li>THE CONTRACTOR SHALL NOTIFY ARCHITECT IF STRUCTURAL ITEMS ARE FOUND WHICH DOES NOT APPEAR ON THE DRAWINGS.</li> <li>ADHERE TO OWNER'S REQUIREMENTS FOR PERFORMANCE OF ALL WORK INCLUDING, BUT NOT LIMITED TO: EXECUTION OF SLAB WORK, &amp; CORE DRILLS; REMOVAL OF DEBRIS &amp; CONSTRUCTION WASTE, HOURS OF WORK, CONTRACTOR &amp; SUBCONTRACTOR ACCESS TO AREA OF WORK, REPAIR OF DAMAGE TO FACILITY OUTSIDE THE AREA/SCOPE OF WORK.</li> </ul>	<ul style="list-style-type: none"> <li>NEW DOOR &amp; TAG - SEE DOOR SCHEDULE</li> <li>EXISTING DOOR TO REMAIN</li> <li>EXISTING DOOR TO BE DEMOLISHED</li> <li>NEW PARTITION - TYPE 1 U.N.O.</li> <li>EXISTING WALL/PARTITION TO REMAIN</li> <li>EXISTING WALL/PARTITION TO BE DEMOLISHED</li> <li>AREA NOT IN CONTRACT - NO WORK PROPOSED</li> </ul>	<ul style="list-style-type: none"> <li>FIRST FLOOR SLAB ELEVATION SHALL BE REFERRED TO AS 0'-0"; ALL ELEVATION HEIGHTS IN THE PROJECT ARE REFERENCED FROM SHOWROOM FINISHED FLOOR ELEVATION, U.O.N.</li> <li>ALL DIMENSIONS ARE TO FACE OF FINISHED SURFACE, UNLESS NOTED OTHERWISE.</li> <li>ALL INTERIOR PARTITIONS ARE TYPE 1 U.N.O.</li> <li>OUTSIDE EDGE OF ALL DOOR FRAMES @ METAL STUD WALLS TO BE 4" FROM ADJACENT WALL, UNLESS NOTED OTHERWISE.</li> <li>SEE A-200 SERIES SHEET FOR EXTERIOR BUILDING ELEVATIONS</li> <li>SEE A-300 SERIES SHEETS FOR BUILDING &amp; WALL SECTIONS</li> <li>SEE A-400 SERIES SHEETS FOR RESTROOM, MILLWORK, &amp; GLAZING DETAILS</li> <li>SEE A-500 SERIES SHEETS FOR TYPICAL &amp; NOTED DETAILS (COLUMNS, BULKHEADS, ETC.)</li> <li>SEE A-600 SERIES SHEETS FOR MATERIAL, FINISH, DOOR &amp; FURNITURE SCHEDULES</li> <li>SEE A-700 SERIES SHEETS FOR VERTICAL CIRCULATION DETAILS</li> </ul>	<p>North Arrow</p> <p>Scale: 1/8" = 1'-0"</p>	

Bid Set 2023.07.27

HMA 75% Submission 2023.03.31

No. Issue / Revision Date

Drawn By: LH

Checked By: JP

Plot Date: August 2, 2023

Sheet Number

**D-110**

Sheet Title

**Demolition Plan**

Project Number

CMA008a

File Name

D-110.dwg

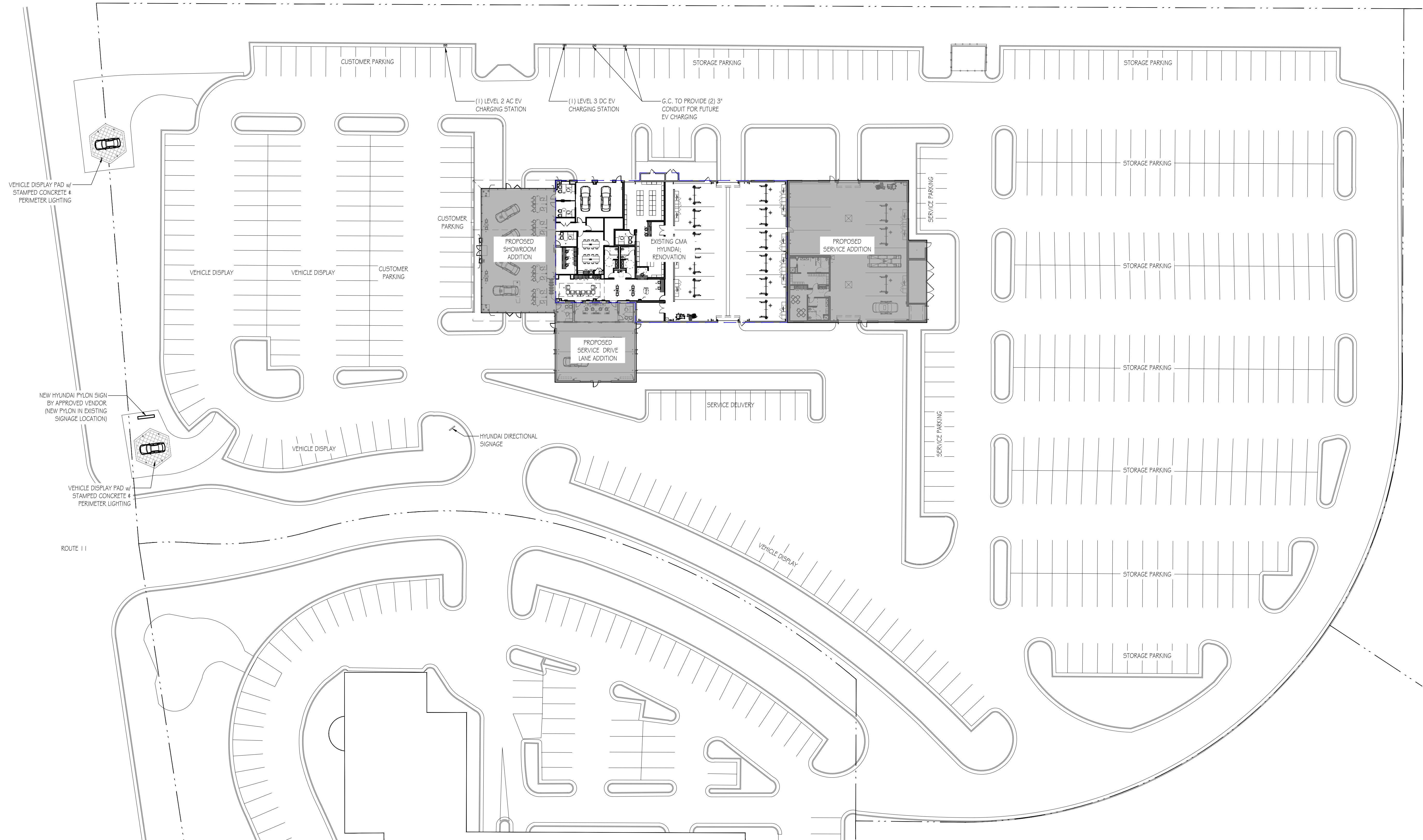
**CMA's Hyundai Winchester**  
Addition & Alteration

3951 Valley Pike  
Winchester, VA

**CMA Properties**

100 Myers Drive  
Charlottesville, VA 22901

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**1 ARCHITECTURAL SITE PLAN**

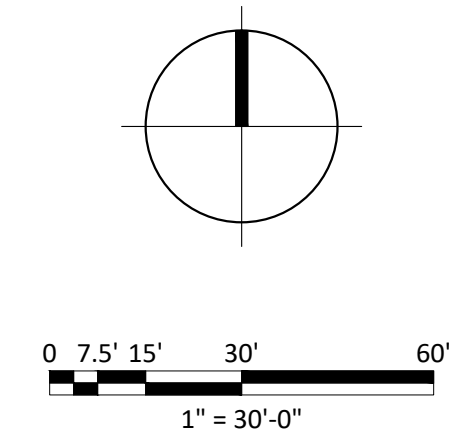
\*PROPOSED ARCHITECTURAL SITE PLAN IS FOR REFERENCE ONLY; SEE CIVIL DRAWINGS FOR FINAL PLANS

Scale: 1/8" = 1'-0"

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- SEE A-700 SERIES SHEETS FOR VERTICAL CIRCULATION DETAILS

**NORTH ARROW & SCALE**



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Sheet Number  
**A-001**  
Sheet Title  
**Architectural Site Plan**

Project Number  
CMA008a

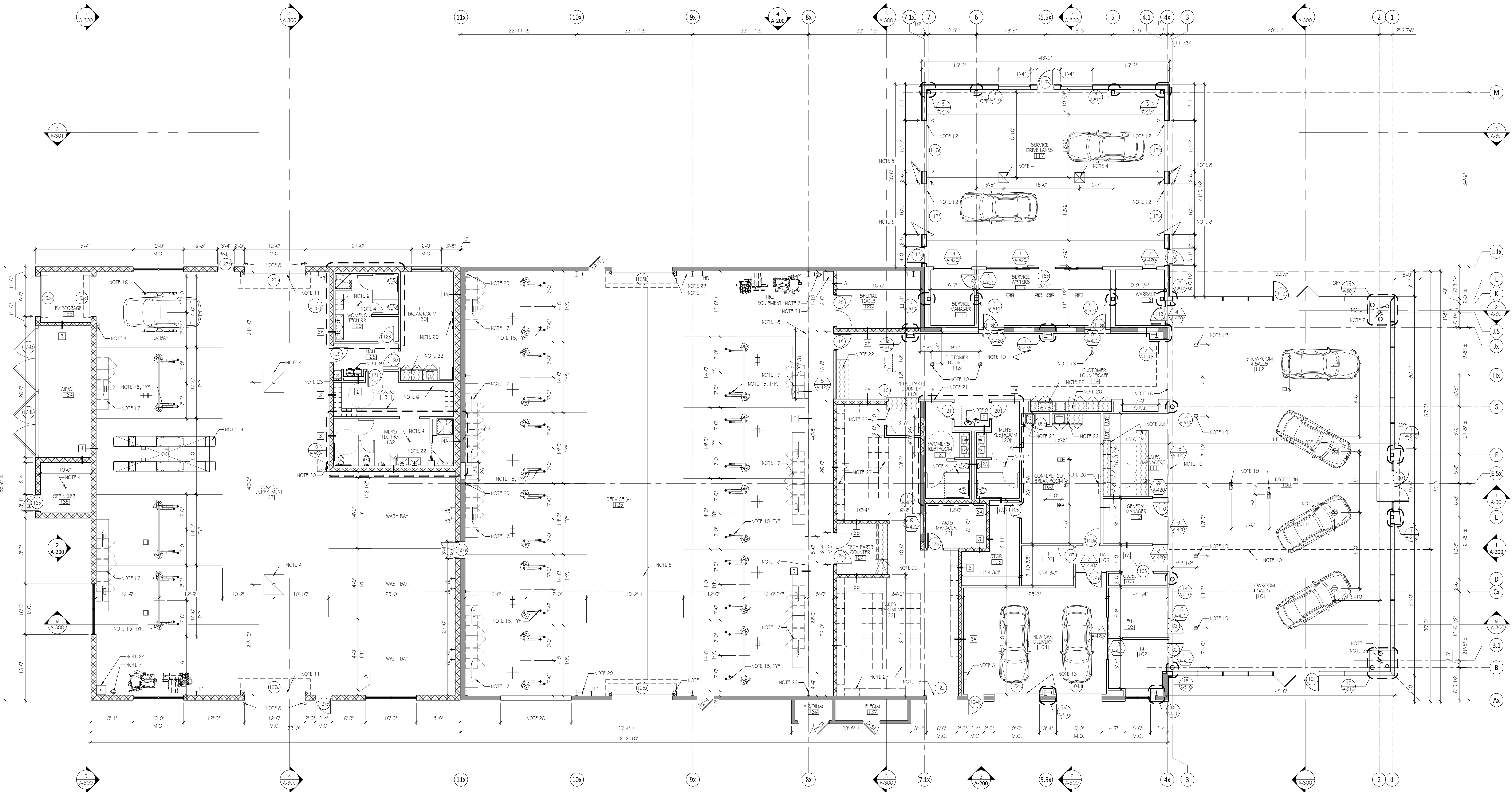
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**CMA's Hyundai Winchester**  
Addition & Alteration  
3951 Valley Pike  
Winchester, VA

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Charlottesville, VA 22901

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**1 FIRST FLOOR PLAN**

Scale: 1/8" = 1'-0"

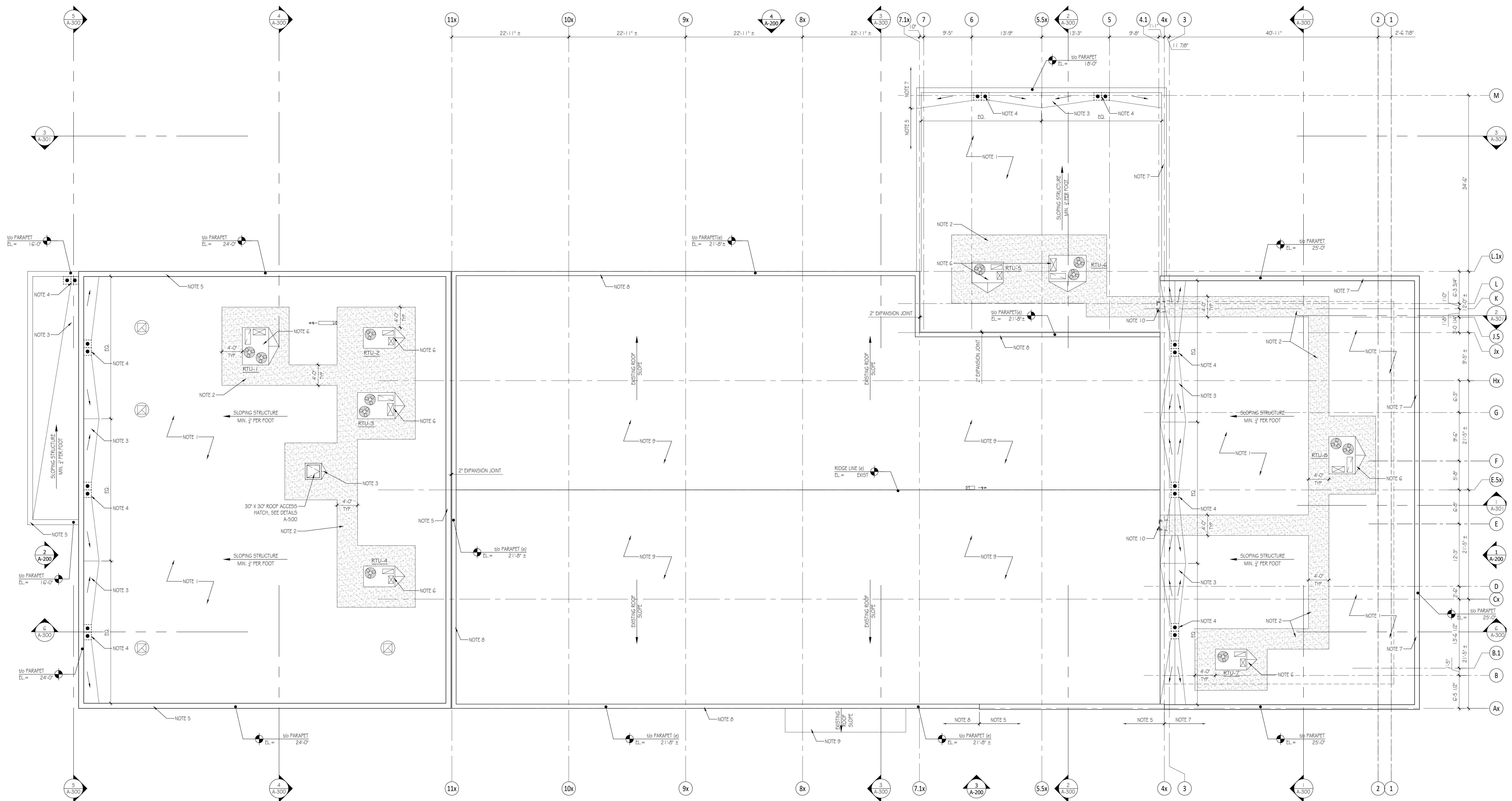
FLOOR PLAN NOTES					FLOOR PLAN LEGEND		GENERAL NOTES		NORTH ARROW & SCALE	
1. SLANTED STEEL COLUMNS TO BE MATCH F-9; SEE STRUCTURAL DRAWINGS.	10. LINE OF BULKHEAD/CEILING FEATURE AND/OR WALL ABOVE. SEE REFLECTED CEILING PLANS FOR MORE INFORMATION.	18. CMU HALF WALL; SEE WALL TYPES A-300.	28. INFILL WALL; CONSTRUCTION TO MATCH ADJACENT.	30. ROOF HATCH ACCESS WITH FIXED STEEL LADDER w/ SAFETY CAGE. SEE DETAILS A-500.		NEW DOOR & TAG - SEE DOOR SCHEDULE	<ul style="list-style-type: none"> <li>FIRST FLOOR SLAB ELEVATION SHALL BE REFERRED TO AS 0'-0"; ALL ELEVATION HEIGHTS IN THE PROJECT ARE REFERENCED FROM SHOWROOM FINISHED FLOOR ELEVATION, U.O.N.</li> <li>ALL DIMENSIONS ARE TO FACE OF FINISHED SURFACE, UNLESS NOTED OTHERWISE.</li> <li>ALL INTERIOR PARTITIONS ARE TYPE 1 U.O.N.</li> <li>OUTSIDE EDGE OF ALL DOOR FRAMES @ METAL STUD WALLS TO BE 9" FROM ADJACENT WALL, UNLESS NOTED OTHERWISE.</li> <li>OUTSIDE EDGE OF ALL DOOR FRAMES @ ALL MASONRY WALLS TO BE 4" FROM ADJACENT WALL, UNLESS NOTED OTHERWISE.</li> <li>SEE A-200 SERIES SHEET FOR EXTERIOR BUILDING ELEVATIONS.</li> <li>SEE A-300 SERIES SHEETS FOR BUILDING 4 WALL SECTIONS.</li> <li>SEE A-400 SERIES SHEETS FOR RESTROOM, MILLWORK &amp; GLAZING DETAILS.</li> <li>SEE A-500 SERIES SHEETS FOR TYPICAL 4 NOTED DETAILS (COLUMNS, BULKHEADS, ETC.).</li> <li>SEE A-600 SERIES SHEETS FOR MATERIAL, FINISH, DOOR &amp; FURNITURE SCHEDULES.</li> <li>SEE A-700 SERIES SHEETS FOR VERTICAL CIRCULATION DETAILS.</li> </ul>	  1/8" = 1'-0"		
2. IN-SLAB RECESSED UPLIGHT FIXTURE; SEE RCP & ELECTRICAL DRAWINGS.	11. CEILING OVERHEAD DOORS; SEE DOOR SCHEDULE A-410.	19. RECESSED POWER/DATA BOX; SEE ELECTRICAL DRAWINGS.	29. EXISTING COLUMNS TO REMAIN; TO RECEIVE NEW PAINT; SEE FINISH PLAN.	31. CMU HALF WALL TO BE 44" AFF WHERE NOTED.		EXISTING DOOR TO REMAIN				
3. NEW EV CHARGING STATION; (1) 12kW LEVEL 2 AC CHARGER.	12. SECTIONAL OH DOOR; SEE DOOR SCHEDULE A-G10.	20. APPROXIMATE LOCATION OF OWNER PROVIDED, WALL-MOUNTED T.V.; G.C. SHALL COORDINATE WITH OWNER IN FIELD FOR LOCATION & PROVIDE BLOCKING (FR) AS REQUIRED.	30. ROOF HATCH ACCESS WITH FIXED STEEL LADDER w/ SAFETY CAGE. SEE DETAILS A-500.			EXISTING DOOR TO BE DEMOLISHED				
4. FLOOR DRAIN; SLOPE FLOOR TOWARDS DRAIN 1/8" PER FOOT - SEE DETAILS A-500 & MEP DRAWINGS.	13. SECTIONAL OH DOOR w/ HIGH-LIFT TRACK; SEE DOOR SCHEDULE A-G10.	21. PROVIDE SOUND ATTENUATION BLANKETS AROUND EACH RESTROOM, EXTEND STUDS & DRYWALL TO UNDERSIDE OF DECKING.				NEW PARTITION - TYPE 1 U.O.N.				
5. EXISTING TRENCH DRAIN TO REMAIN.	14. ALIGNMENT RACK w/ SLAB RECESS & FLOOR DRAIN; G.C. TO COORDINATE WITH OWNER PROVIDED SPECIFICATION.	22. MILLWORK; SEE DETAILS ON A-430.				EXISTING WALL/PARTITION TO REMAIN				
6. LOCKERS BY OWNER - MIN. 5% ACCESSIBLE.	15. ABOVE-GROUND LIFT BY OWNER; G.C. SHALL COORDINATE CONC. EXPANSION JOINTS w/ FINAL LAYOUT REQUIREMENTS & OWNER'S VENDOR IN FIELD.	23. FLOOR MOP SINK; SEE PLUMBING DRAWINGS.				EXISTING WALL/PARTITION TO BE DEMOLISHED				
7. NON-PIPED EMERGENCY EYEWASH STATION; SEE PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.	16. IN-GROUND EV LIFT BY OWNER; G.C. SHALL COORDINATE CONC. EXPANSION JOINTS w/ FINAL LAYOUT REQUIREMENTS & OWNER'S VENDOR IN FIELD.	24. LAUNDRY SINK; SEE PLUMBING DRAWINGS.				AREA NOT IN CONTRACT - NO WORK PROPOSED				
8. BOLLARD - SEE DETAIL WA-500, TYP.	17. OWNER PROVIDED TOOLBOXES BY HYUNDAI APPROVED VENDOR.	25. HOSE BIB; SEE PLUMBING DWGS.								
9. DUAL HEIGHT ACCESSIBLE WATER FOUNTAIN w/ WATER BOTTLE FILLER; SEE PLUMBING DRAWINGS.		26. WATER HEATER; SEE PLUMBING DRAWINGS.								
		27. PARTS BINS BY OWNER.								

Bid Set 2023.07.27  
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No. Issue / Revision Date

Drawn By: LH  
Checked By: JP  
Plot Date: August 2, 2023

Sheet Number  
**A-110**  
Sheet Title  
**First Floor Plan**

Project Number: CMA008a File Name: A-110.dwg



**1 ROOF PLAN**

Scale: 1/8" = 1'-0"

ROOF PLAN NOTES		GENERAL ROOF PLAN NOTES		GENERAL NOTES		NORTH ARROW & SCALE	
1. SINGLE PLY, FULLY ADHERED, 60 MILLIMETER THICKNESS OVER WHITE THERMO PLASTIC POLYOLEFIN (TPO) ROOF MEMBRANE OVER MIN. R-30 RIGID INSULATION.	8. EXISTING PARAPET; SEE ELEVATIONS FOR COPING SPECIFICATIONS.	• UNLESS NOTED OTHERWISE, PROVIDE ROOF SYSTEM AS FOLLOWS:	• COORD. ALL PENETRATIONS w/ MEP & STRUCTURAL; FLASH & SEAL ALL PENETRATIONS ACCORDING TO MANUFACTURER'S SPECIFICATIONS & DETAILS AS REQ'D FOR WARRANTY TERM.	• FIRST FLOOR SLAB ELEVATION SHALL BE REFERRED TO AS 0'-0"; ALL ELEVATION HEIGHTS IN THE PROJECT ARE REFERENCED FROM SHOWROOM FINISHED FLOOR ELEVATION, U.O.N.		<p>Drawn By: LH</p> <p>Checked By: JP</p> <p>Plot Date: August 2, 2023</p>	
2. DOUBLE LAYER ROOFING MEMBRANE AROUND MECHANICAL EQUIPMENT AND ROOF SERVICE PATH IN NEW AREAS AS REQ'D.	9. EXISTING ROOFING TO REMAIN, G.C. TO INSPECT FOR ANY DAMAGE/ISSUES AND REVIEW w/ ARCHITECT & OWNER PRIOR TO PERFORMING ANY WORK.	• FIRESTONE ULTRAPLY TPO ROOFING SYSTEM - FULLY-ADHERED - WHITE MEMBRANE - 60 mil THICKNESS - MIN. 25-YEAR WARRANTY - PROVIDE ALL REQ'D MATERIALS & ACCESSORIES PER MANUFACTURER'S SPECIFICATIONS & DETAILS AS REQ'D FOR WARRANTY TERM.	• PROVIDE 1'-0" MIN. FROM ANY EQUIPMENT THAT NEEDS SERVICE TO EDGE OF ROOF IF PARAPET IS LOWER THAN 42" HEIGHT FROM TOP OF ROOF INSULATION.	• ALL DIMENSIONS ARE TO FACE OF FINISHED SURFACE, UNLESS NOTED OTHERWISE.			<p>Sheet Number <b>A-120</b></p> <p>Sheet Title <b>Roof Plan</b></p>
3. RIGID INSULATION ROOF CRICKET TO DIRECT FLOW OF WATER TYP. SLOPING 1" PER FOOT MIN.	10. ROOF LADDER; SEE DETAILS A-300.	• PROVIDE CONTINUOUS INSULATION ENTIRELY ABOVE ROOF DECK - BASIS OF DESIGN: FIRESTONE ISO 95+ GL INSULATION - R-30.	• RIGID INSULATION ROOF CRICKETS SHALL BE PRE-SLOPED MIN. 1/4" PER FOOT BY THE INSULATION MANUFACTURER.	• ALL INTERIOR PARTITIONS ARE TYPE 1 U.O.N.	<p>Project Number CMA008a</p> <p>File Name A-120.dwg</p>		
4. ROOF & OVERFLOW DRAIN. SEE PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.		• PROVIDE DOUBLE LAYER ROOFING MEMBRANE AROUND LANDING, MECHANICAL EQUIPMENT AND ROOF SERVICE & WALKWAY PADS AS INDICATED ON THE PLANS.		• OUTSIDE EDGE OF ALL DOOR FRAMES @ METAL STUD WALLS TO BE 4" FROM ADJACENT WALL, UNLESS NOTED OTHERWISE.			
5. CONTINUOUS METAL COPING W/ HEMMED DRIP EDGE; SEE ELEVATIONS FOR FINISH SPECIFICATIONS.				• SEE A-200 SERIES SHEET FOR EXTERIOR BUILDING ELEVATIONS			
6. RTU (SEE MECH DRAWINGS) W/ RIGID INSULATION ROOF CRICKET TO DIRECT FLOW OF WATER AROUND MECHANICAL UNIT, TYP.				• SEE A-300 SERIES SHEETS FOR BUILDING 4 WALL SECTIONS			
7. ACM COPING INTEGRATED WITH ACM PARAPET PANEL; SEE ELEVATIONS FOR SPECIFICATIONS.				• SEE A-400 SERIES SHEETS FOR RESTROOM, MILLWORK, & GLAZING DETAILS			
				• SEE A-500 SERIES SHEETS FOR TYPICAL 4 NOTED DETAILS (COLUMNS, BULKHEADS, ETC.)			
				• SEE A-600 SERIES SHEETS FOR MATERIAL, FINISH, DOOR & FURNITURE SCHEDULES			
				• SEE A-700 SERIES SHEETS FOR VERTICAL CIRCULATION DETAILS			

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Sheet Number  
**A-120**  
Sheet Title  
**Roof Plan**  
Project Number  
CMA008a  
File Name  
A-120.dwg

**CMA's Hyundai Winchester**  
 Addition & Alteration  
 3951 Valley Pike  
 Winchester, VA

**CMA Properties**  
 100 Myers Drive  
 Charlottesville, VA 22901

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**1 REFLECTED CEILING PLAN**  
 Scale: 1/8" = 1'-0"

LIGHTING FIXTURES			ARCHITECTURAL CEILING FINISHES			GENERAL RCP NOTES		GENERAL NOTES		
SYMBOL	TAG	DESCRIPTION	SYMBOL	TAG	DESCRIPTION					
○	A	LED IN-GROUND LIGHT, (CLEAR ANODIZED NATURAL ALUM.) XIG-LED-13-350-WW-UE-SP1 0-INGROUND	□	G	2' x 2' LED DIRECT/INDIRECT, SUZ22-LED-HO-NW-UE-9' MH	ACT-1	ACOUSTIC CEILING TILE, 2' x 2'	<ul style="list-style-type: none"> <li>FIRST FLOOR SLAB ELEVATION SHALL BE REFERRED TO AS 0'-0"; ALL ELEVATION HEIGHTS IN THE PROJECT ARE REFERENCED FROM SHOWROOM FINISHED FLOOR ELEVATION, U.O.N.</li> <li>ALL DIMENSIONS ARE TO FACE OF FINISHED SURFACE, UNLESS NOTED OTHERWISE</li> <li>ALL INTERIOR PARTITIONS ARE TYPE 1 U.O.N.</li> <li>OUTSIDE EDGE OF ALL DOOR FRAMES @ METAL STUD WALLS TO BE 9" FROM ADJACENT WALL, UNLESS NOTED OTHERWISE</li> <li>OUTSIDE EDGE OF ALL DOOR FRAMES @ ALL MASONRY WALLS TO BE 4" FROM ADJACENT WALL, UNLESS NOTED OTHERWISE</li> <li>SEE A-200 SERIES SHEET FOR EXTERIOR BUILDING ELEVATIONS</li> <li>SEE A-300 SERIES SHEETS FOR BUILDING 4 WALL SECTIONS</li> <li>SEE A-400 SERIES SHEETS FOR RESTROOM, MILLWORK, &amp; GLAZING DETAILS</li> <li>SEE A-500 SERIES SHEETS FOR TYPICAL 4' NOTED DETAILS (COLUMNS, BULKHEADS, ETC.)</li> <li>SEE A-600 SERIES SHEETS FOR MATERIAL, FINISH, DOOR &amp; FURNITURE SCHEDULES</li> <li>SEE A-700 SERIES SHEETS FOR VERTICAL CIRCULATION DETAILS</li> </ul>	<p><b>NORTH ARROW &amp; SCALE</b></p>	
○	B	6" LED RECESSED DOWNLIGHT, (WHITE TRIM) LADG-41-LED-40-75-TR6R-H2-1'8' MH	—	H	4' x 1' SURFACE MOUNTED LED WALL SCONCE	ACM-1	METAL PANEL AT EXTERIOR			
○	C	6" LED RECESSED DOWNLIGHT, (WHITE TRIM) LADG-13-LED-40-62-TR6R-H2-9' MH	□	K	SUSPENDED LED FIXTURE - WHITE	ACM-2	METAL PANEL AT INTERIOR			
○	D	6" LED RECESSED DOWNLIGHT, (BLACK TRIM) LADG-41-LED-40-75-TR6R-H2-1'4' MH	○	S	6" LED RECESSED DOWNLIGHT, EXTERIOR, LADG-20-LED-30-52-TR6R-H2-WITH LENS-1'4'	GYP-1	GYP/SM BOARD TO BE PAINTED AS NOTED			
—	E	4' LED STRIP FIXTURE	○	P	DECORATIVE PENDANT	EXP-1	EXPOSED CEILING TO BE PAINTED			
—	F	LED HIGH-BAY FIXTURE	○	Q	EXTERIOR WALL PACK	EXP-2	EXPOSED CEILING TO BE PAINTED			
						<p>*ALL CEILING TILES ARE CENTERED IN SPACES U.N.O.</p>				

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 Checked By: JP  
 Plot Date: August 2, 2023

Sheet Number  
**A-130**  
 Sheet Title  
**Reflected Ceiling Plan**

Project Number: CMA008a File Name: A-130.dwg



**CMA's Hyundai Winchester**  
Addition & Alteration  
3951 Valley Pike  
Winchester, VA

**CMA Properties**

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Sheet Number

**A-140**

Sheet Title

**Finish Plan**

Project Number

CMA008a

File Name

A-140.dwg



**1 FINISH PLAN**

Scale: 1/8" = 1'-0"

**KEYED FINISH PLAN NOTES**

- SEE A-610 DOOR SCHEDULE FOR THRESHOLD AND/OR TRANSITION TYPE.
- PAINT P-9 AT INTERIOR INCLINED COLUMNS, SEE A-620.
- TILE STARTING POINT.
- SLAB RECESSED POWER & DATA BOX COVER PLATE, FINISH TO MATCH ADJACENT MATERIAL COLOR. REFER TO ELECTRICAL DRAWINGS.
- PAINT EXISTING COLUMNS P-7.

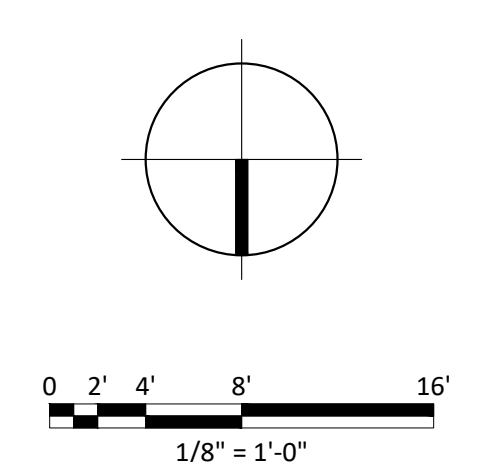
**FINISH PLAN LEGEND**

CPT-1 CARPET TILE (12' x 12')	CT-5 PEBBLE TILE (12' x 12')	EPX-2 4" EPOXY STRIPING
CT-1 12"x24" PORCELAIN FLOOR TILE, 1/3 OFFSET	CT-6 PORCELAIN TILE (6" x 24")	
VCT-1 VINYL COMPOSITE TILE	CT-7 12"x12" ENHANCED PORCELAIN TILE	
WM-1 WALK-OFF MAT	CT-8 12"x12" ENHANCED PORCELAIN TILE	
SC-1 SEALED CONCRETE	CT-10 12"x12" PORCELAIN TILE	

**GENERAL NOTES**

- FIRST FLOOR SLAB ELEVATION SHALL BE REFERRED TO AS 0'-0"; ALL ELEVATION HEIGHTS IN THE PROJECT ARE REFERENCED FROM SHOWROOM FINISHED FLOOR ELEVATION, U.O.N.
- ALL DIMENSIONS ARE TO FACE OF FINISHED SURFACE, UNLESS NOTED OTHERWISE.
- ALL INTERIOR PARTITIONS ARE TYPE 1 U.O.N.
- OUTSIDE EDGE OF ALL DOOR FRAMES @ METAL STUD WALLS TO BE 9" FROM ADJACENT WALL, UNLESS NOTED OTHERWISE.
- OUTSIDE EDGE OF ALL DOOR FRAMES @ ALL MASONRY WALLS TO BE 4" FROM ADJACENT WALL, UNLESS NOTED OTHERWISE.
- SEE A-200 SERIES SHEET FOR EXTERIOR BUILDING ELEVATIONS.
- SEE A-300 SERIES SHEETS FOR BUILDING 4 WALL SECTIONS.
- SEE A-400 SERIES SHEETS FOR RESTROOM, MILLWORK, & GLAZING DETAILS.
- SEE A-500 SERIES SHEETS FOR TYPICAL 4 NOTED DETAILS (COLUMNS, BULKHEADS, ETC.).
- SEE A-600 SERIES SHEETS FOR MATERIAL, FINISH, DOOR & FURNITURE SCHEDULES.
- SEE A-700 SERIES SHEETS FOR VERTICAL CIRCULATION DETAILS.

**NORTH ARROW & SCALE**

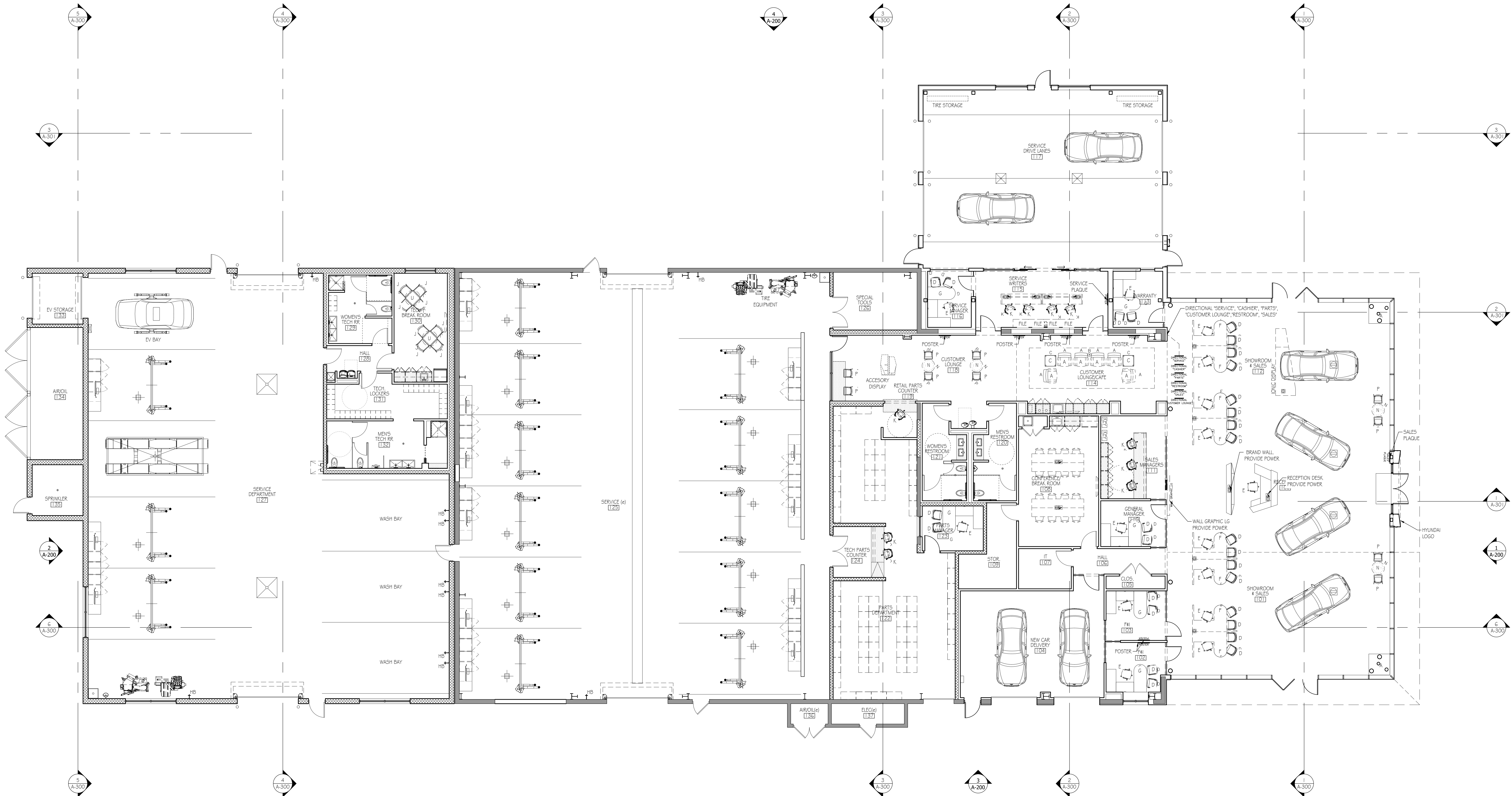


**CMA's Hyundai Winchester**  
Addition & Alteration  
3951 Valley Pike  
Winchester, VA

**CMA Properties**

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**1 FURNITURE PLAN**

Scale: 1/8" = 1'-0"

FIXTURE & FURNITURE SCHEDULE				FLOOR PLAN LEGEND		GENERAL NOTES		NORTH ARROW & SCALE	
TAG	DESCRIPTION	SPECIFICATION	TAG	DESCRIPTION	SPECIFICATION	Symbol	Description	Symbol	Description
A	CUSTOMER LOUNGE SEATING	JENNY; CHAIR w/ ARMS	J	SEATING - BREAK ROOM	MOVE, CHAIR, PLASTIC BACK, NO ARMS, GUIDES		NEW DOOR & TAG - SEE DOOR SCHEDULE		NORTH ARROW
C	CUSTOMER LOUNGE TABLE	JENNY; TABLE - COFFEE, HIGH PRESSURE LAMINATE	K	SEATING - SERVICE AREA	QVI; STOOL, MESH BACK, UPHOLSTERED SEAT, ARMS		EXISTING DOOR TO REMAIN		0' 2' 4' 8' 16' 1/8" = 1'-0"
D	SEATING - CUSTOMER	QVI; CHAIR, SLED BASE, MESH BACK, UPHOLSTERED SEAT, ARMS	N	CAFE TABLE - STOOL HEIGHT	EMO BY CONEISE; TABLE TOP: LAMINATE GRAPHITE WALNUT, BASE: ARCTIC WHITE		EXISTING DOOR TO BE DEMOLISHED	<p><b>GENERAL NOTES</b></p> <ul style="list-style-type: none"> <li>FIRST FLOOR SLAB ELEVATION SHALL BE REFERRED TO AS 0'-0"; ALL ELEVATION HEIGHTS IN THE PROJECT ARE REFERENCED FROM SHOWROOM FINISHED FLOOR ELEVATION, U.O.N.</li> <li>ALL DIMENSIONS ARE TO FACE OF FINISHED SURFACE, UNLESS NOTED OTHERWISE</li> <li>ALL INTERIOR PARTITIONS ARE TYPE 1 U.O.N.</li> <li>OUTSIDE EDGE OF ALL DOOR FRAMES @ METAL STUD WALLS TO BE 9" FROM ADJACENT WALL, UNLESS NOTED OTHERWISE</li> <li>OUTSIDE EDGE OF ALL DOOR FRAMES @ ALL MASONRY WALLS TO BE 4" FROM ADJACENT WALL, UNLESS NOTED OTHERWISE</li> <li>SEE A-200 SERIES SHEET FOR EXTERIOR BUILDING ELEVATIONS</li> <li>SEE A-300 SERIES SHEETS FOR BUILDING &amp; WALL SECTIONS</li> <li>SEE A-400 SERIES SHEETS FOR RESTROOM, MILLWORK &amp; GLAZING DETAILS</li> <li>SEE A-500 SERIES SHEETS FOR TYPICAL &amp; NOTED DETAILS (COLUMNS, BULKHEADS, ETC.)</li> <li>SEE A-600 SERIES SHEETS FOR MATERIAL, FINISH, DOOR &amp; FURNITURE SCHEDULES</li> <li>SEE A-700 SERIES SHEETS FOR VERTICAL CIRCULATION DETAILS</li> </ul>	
E	SEATING - PRIVATE OFFICE RECEPTION DESK SALES CONSULTANT	QVI; CHAIR, SLED BASE, MESH BACK, UPHOLSTERED SEAT, ARMS, WHEELS	P	SEATING - SHOWROOM	MOVE, STOOL, PLASTIC BACK, NO ARMS, GUIDES		NEW PARTITION - TYPE 1 U.O.N.		
F	L-SHAPED OFFICE DESK	ANSWER; L-SHAPED OFFICE DESK; LAMINATE GRAPHIC WALNUT, BASE: ARCTIC WHITE	U	BREAK ROOM TABLE	SIMPLE TABLE, TURKSTONE, TABLE TOP: LAMINATE GRAPHITE WALNUT		EXISTING WALL/PARTITION TO REMAIN		
G	U-SHAPED OFFICE DESK	ANSWER; U-SHAPED OFFICE DESK; LAMINATE GRAPHIC WALNUT, BASE: ARCTIC WHITE, PANEL: PLAIN JANE PAPPYUS	NOTE: FURNITURE PROVIDED BY OWNER. G.C. TO COORDINATE WITH OWNER VENDOR FOR INSTALLATION & POWER REQUIREMENTS OF ALL FIXTURES AND FURNITURE.				EXISTING WALL/PARTITION TO BE DEMOLISHED		
							AREA NOT IN CONTRACT - NO WORK PROPOSED		

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HMA 75% Submission 2023.03.31  
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Plot Date: August 2, 2023

Sheet Number  
**A-150**  
Sheet Title  
**Furniture Plan**

Project Number: CMA008a File Name: A-150.dwg

EXTERIOR MATERIALS SCHEDULE

TAG	TYPE	SPECIFICATION	REMARKS
ACM-1	SHAPED SKY METAL FASCIA	HMA SURVEY VENDOR, PROPRIETARY PRODUCT AND COLOR, COMPLETE RAIN SCREEN ACM SYSTEM, BLACK W/ 4MM SHAPED SKY PANEL OVERLAY, BRONZE	FASCIA AT SHOWROOM AND SERVICE DRIVE
ACM-3	ENTRY ELEMENT	HMA SURVEY VENDOR, PROPRIETARY PRODUCT AND COLOR, COLOR: HYUNDA NORTH AMERICA BRONZE	WRAP AT FRONT DOOR
ACM-4	EXTERIOR ACM GLAZING	HMA SURVEY VENDOR, SERIES ONE RAINSCREEN ACM GLAZING; ACM: ALUCOBOND PE, COLOR: PUEBLO TAN	EXTERIOR CLADDING AT NEW CAR DELIVERY
P-1	EXTERIOR PAINT	SHERWIN WILLIAMS, COLOR: ANTLER VELVET #9W9111, EXTERIOR FINISH: SEMI-GLOSS	EXTERIOR WALLS, DOORS, FRAMES
P-2	EXTERIOR PAINT	SHERWIN WILLIAMS, COLOR: KAFFEE #5W6104, EXTERIOR FINISH: SEMI-GLOSS	4'-0" BASE AT EXTERIOR WALLS OF SERVICE, PARTS TRAY CEILING OF CUSTOMER WAITING AREAS, TYPES BOLLARDS
EIFS-1	EXTERIOR EIFS INSULATION SYSTEM	"DRYVIT" SHERWIN WILLIAMS, COLOR: ANTLER VELVET #9W9111 (P-1)	EXTERIOR WALLS
EIFS-2	EXTERIOR EIFS INSULATION SYSTEM	SHERWIN WILLIAMS, COLOR: KAFFEE #5W6104, EXTERIOR FINISH: SEMI-GLOSS (P-2)	4'-0" BASE AT EXTERIOR WALLS
SLS-1	SERVICE LANE SIGNAL	SIGNAL-TECH TCL SERIES, XDOWN ARROW LED SIGN, ITEM#S492 (TCL) & (BRG-17SDS), FINISH: DURABOND BRONZE CABINET, 7" x 12" OR 18" SQUARE, SINGLE FACE	ABOVE FRONT SERVICE LANE OVERHEAD DOORS
COP-1	PRE-FORMED METAL COPING W/ HEMMED DRIP EDGE	PAC-CLAD METAL COPING; COLOR TO MATCH P-1	@ NEW CMU + EIFS PARAPET CAPS

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**CMA's Hyundai Winchester**  
 Addition & Alteration  
 3951 Valley Pike  
 Winchester, VA

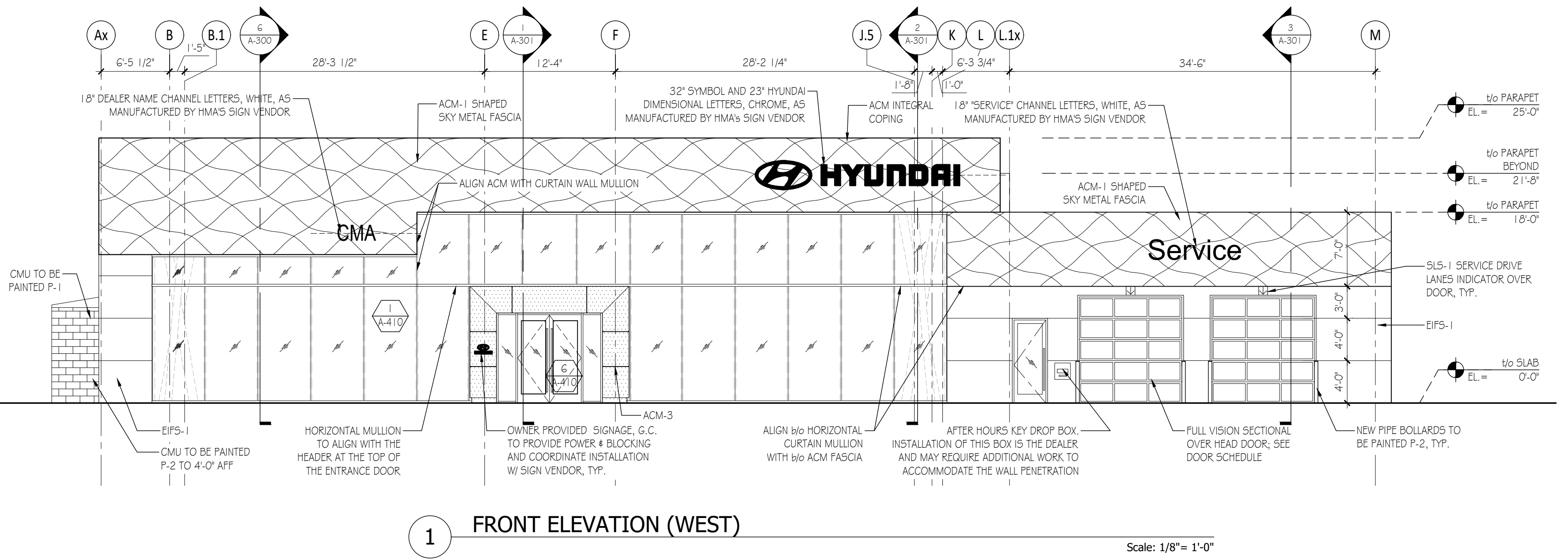
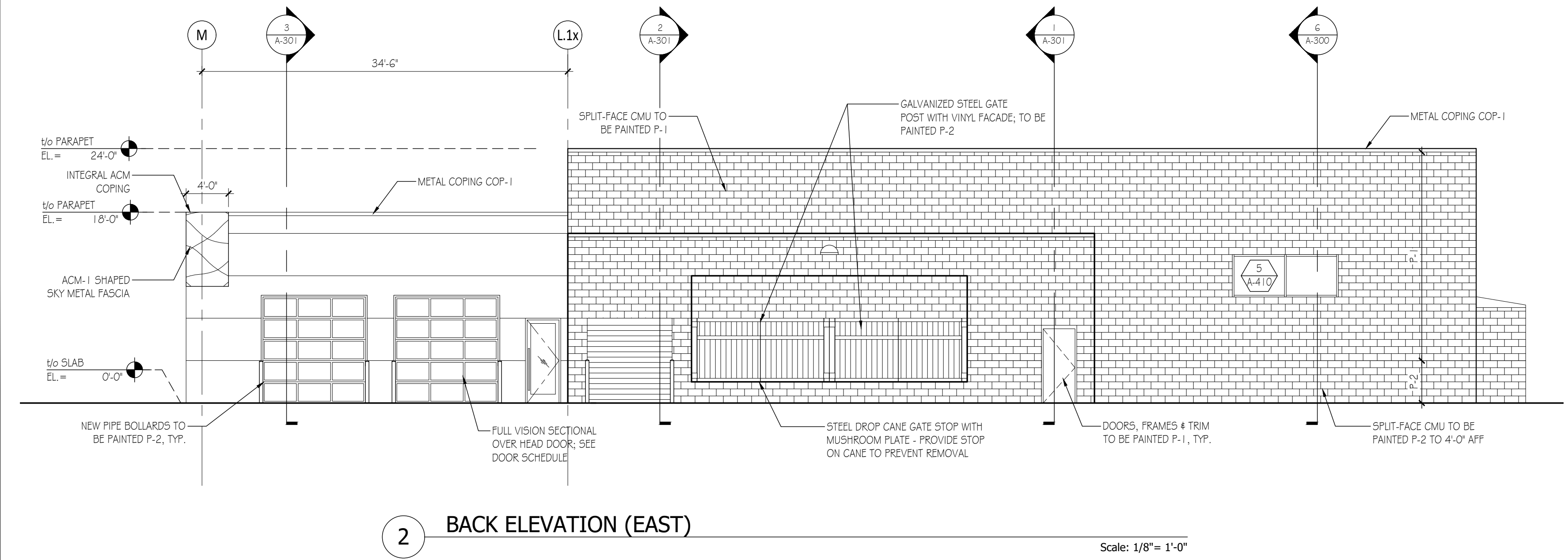
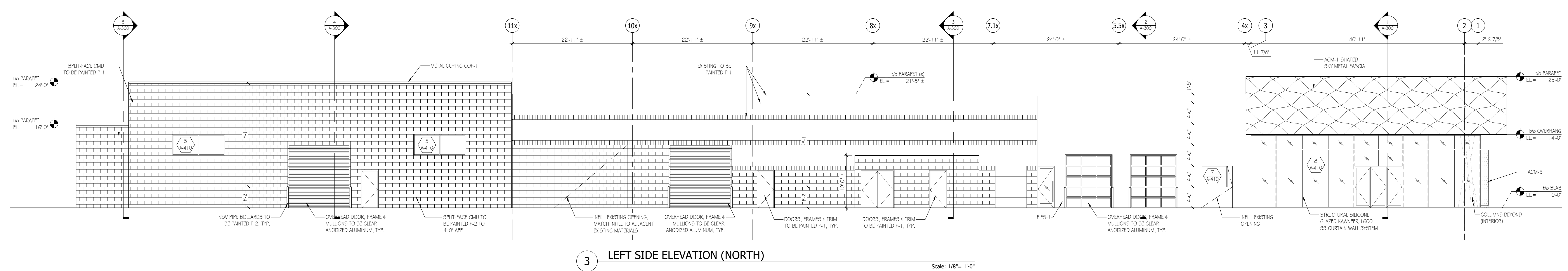
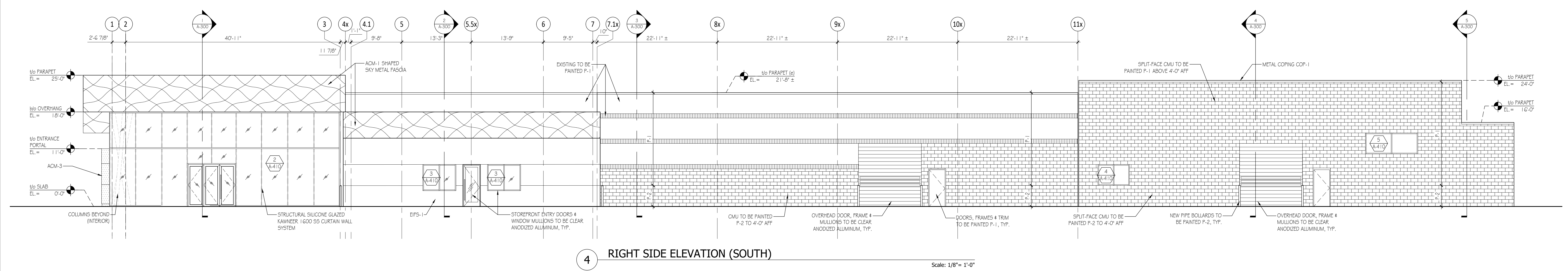
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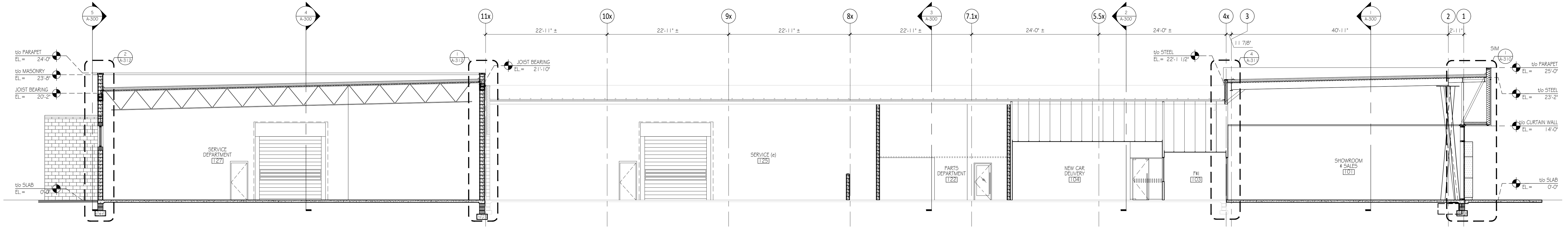
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 Drawn By: LH  
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 Plot Date: August 2, 2023

Sheet Number  
**A-200**  
 Sheet Title  
**Exterior Elevations**

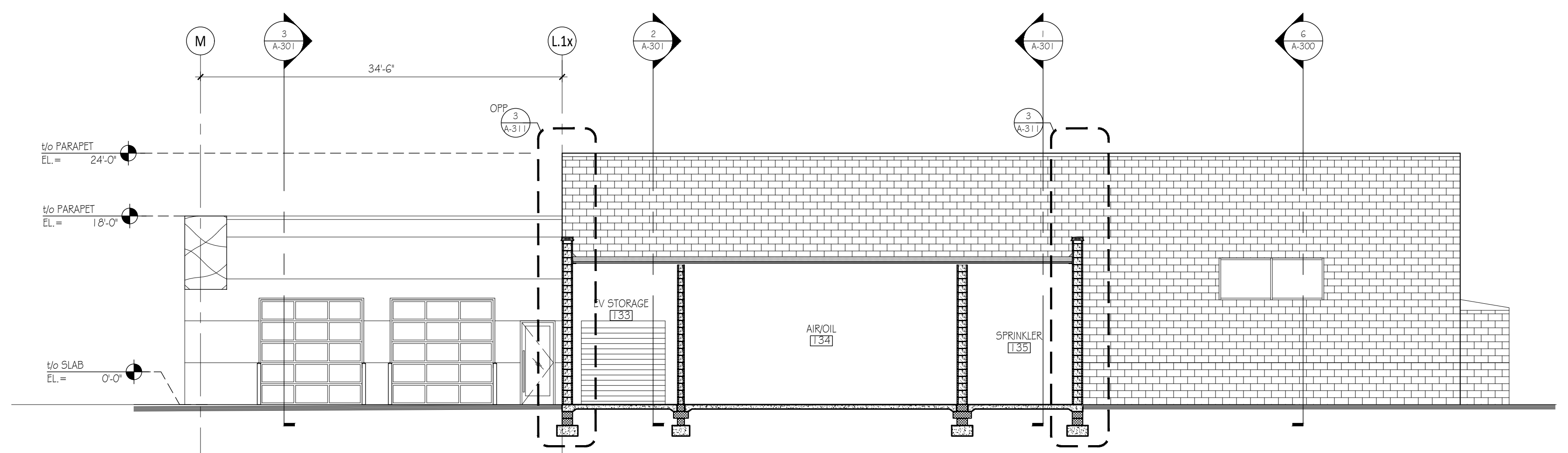
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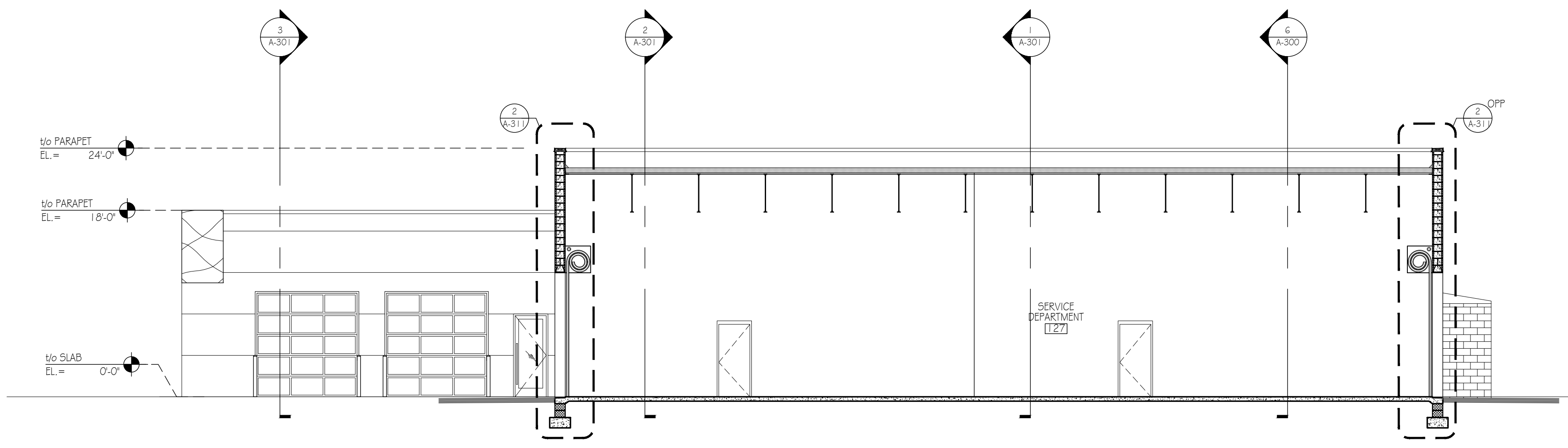
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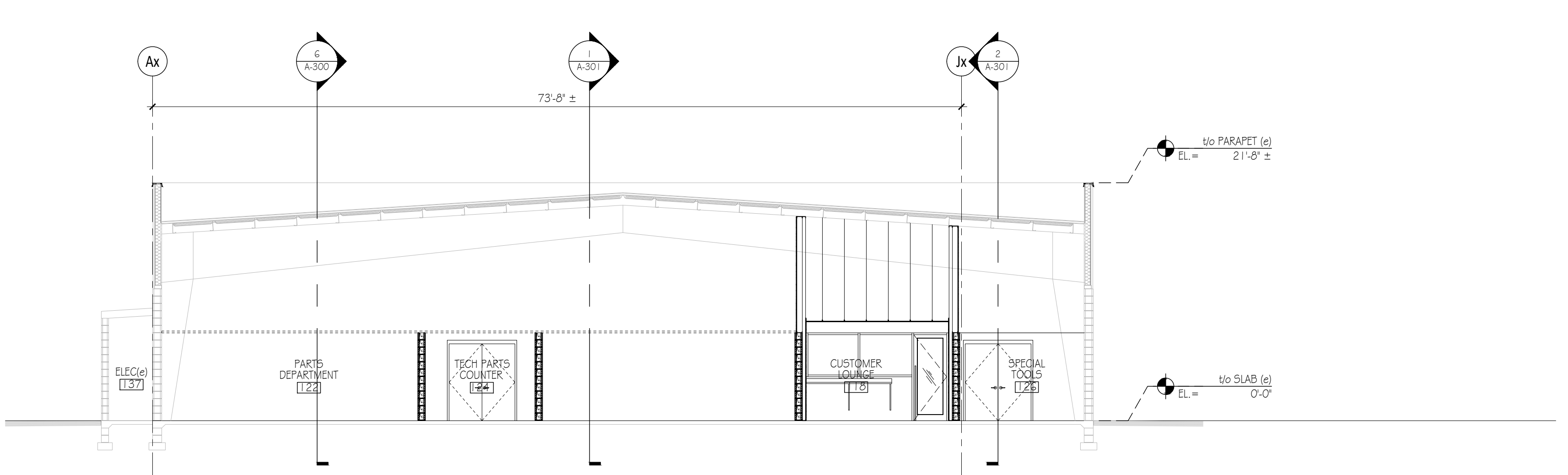
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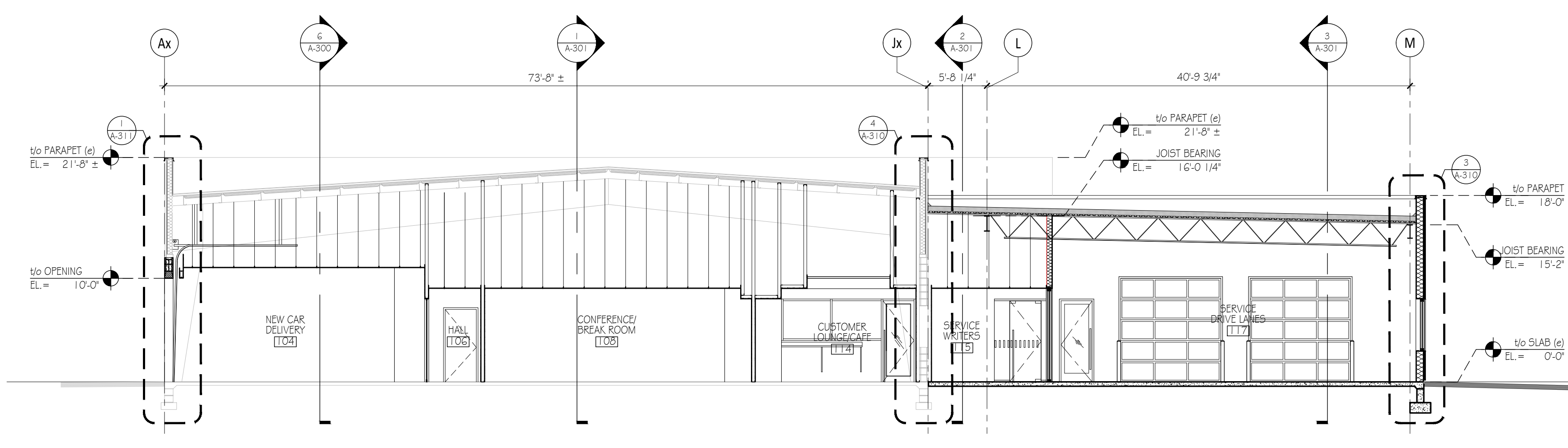
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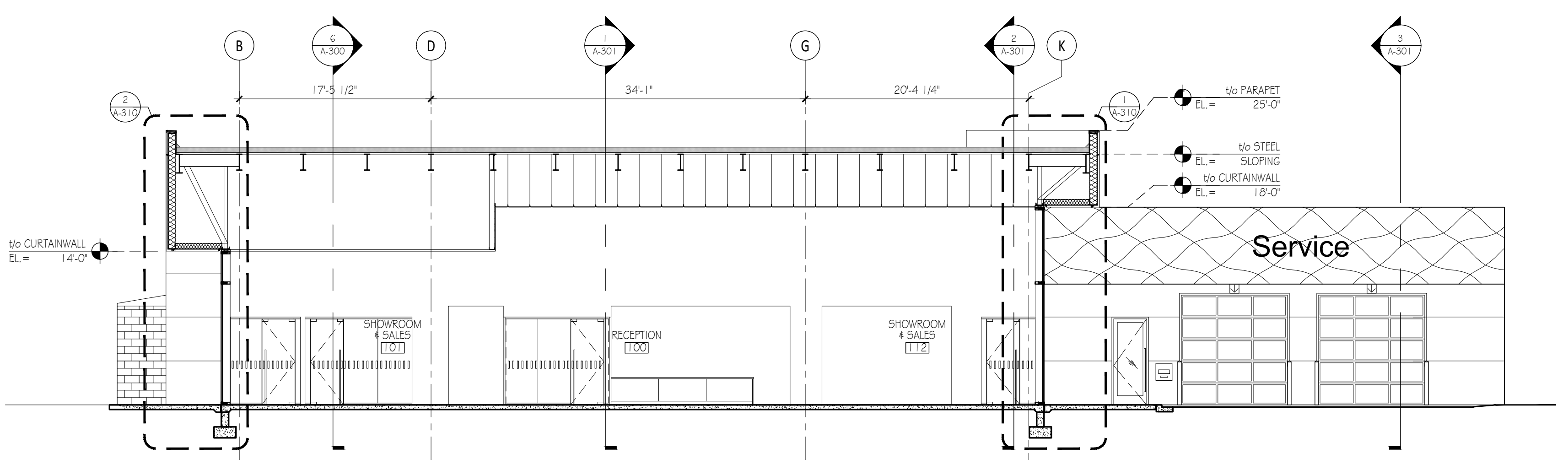
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**2 BUILDING SECTION**

Scale: 1/8" = 1'-0"

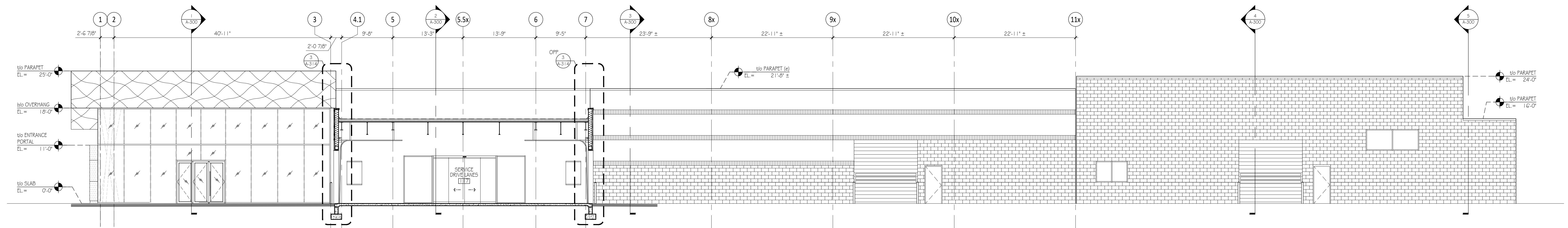


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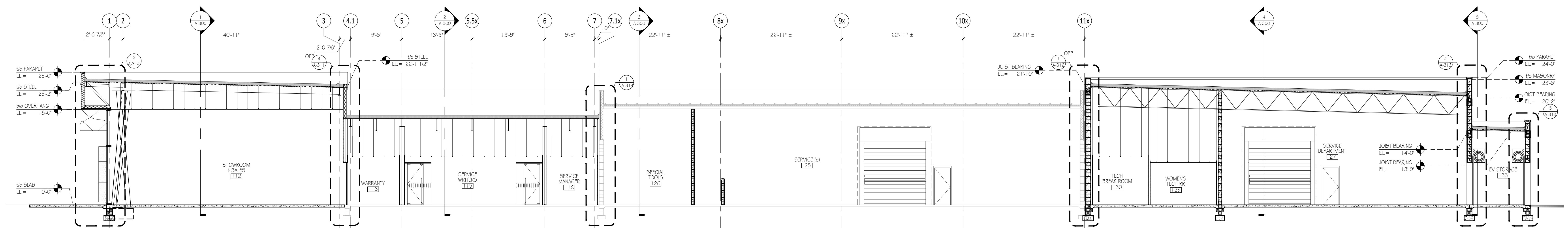
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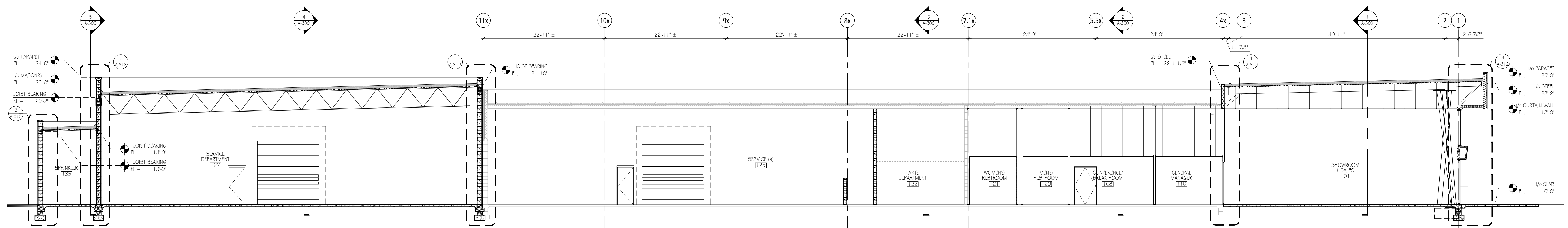
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**A-300**  
Sheet Title  
**Building Sections**



**2 BUILDING SECTION**  
Scale: 1/8" = 1'-0"



**2 BUILDING SECTION**  
Scale: 1/8" = 1'-0"



**1 BUILDING SECTION**  
Scale: 1/8" = 1'-0"

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Sheet Number  
**A-301**  
Sheet Title  
**Building Sections**

**CMA's Hyundai Winchester**  
Addition & Alteration  
3951 Valley Pike  
Winchester, VA

**CMA Properties**

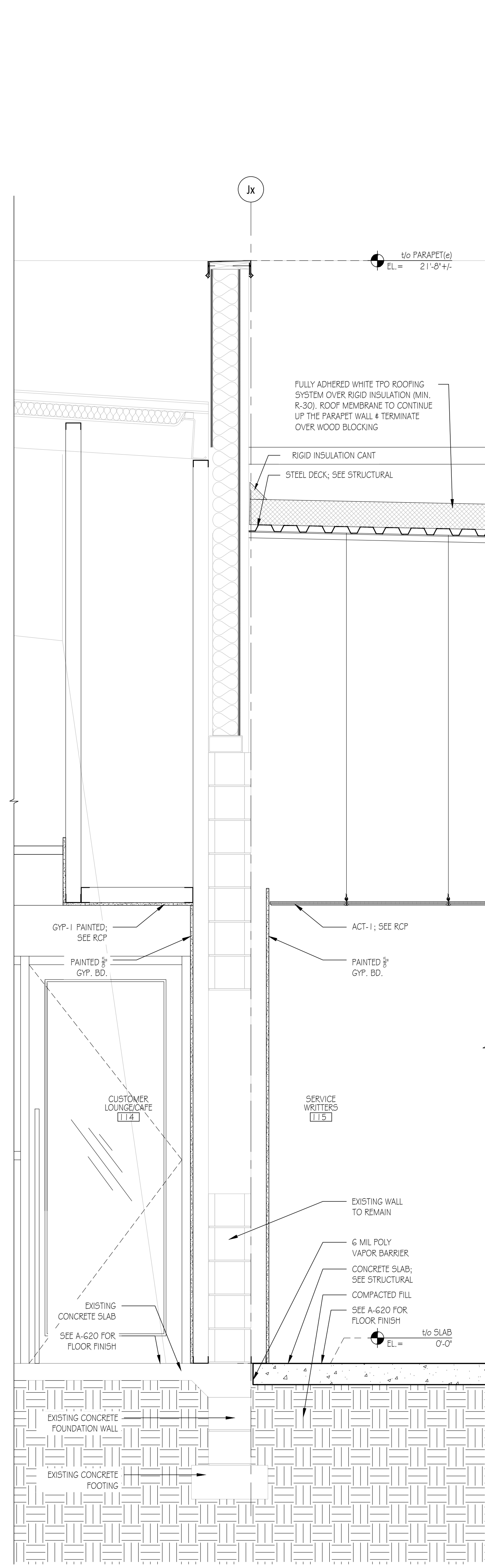
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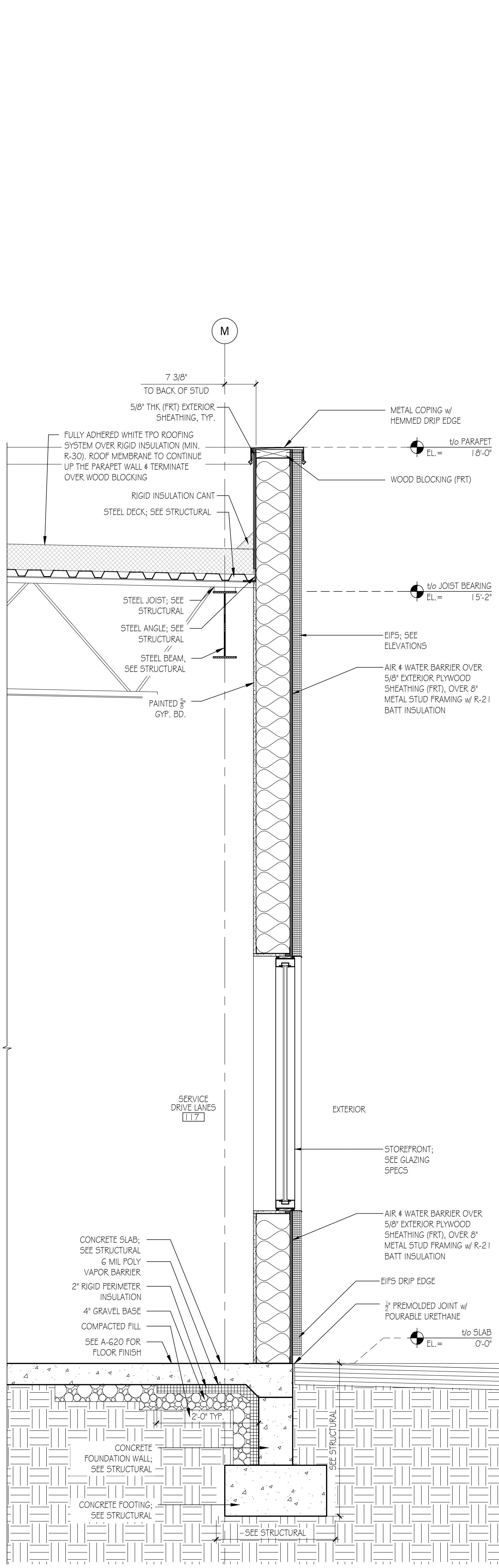
Sheet Number  
**A-310**  
Wall  
Sections

Project Number: CMA008a  
File Name: A-310.dwg



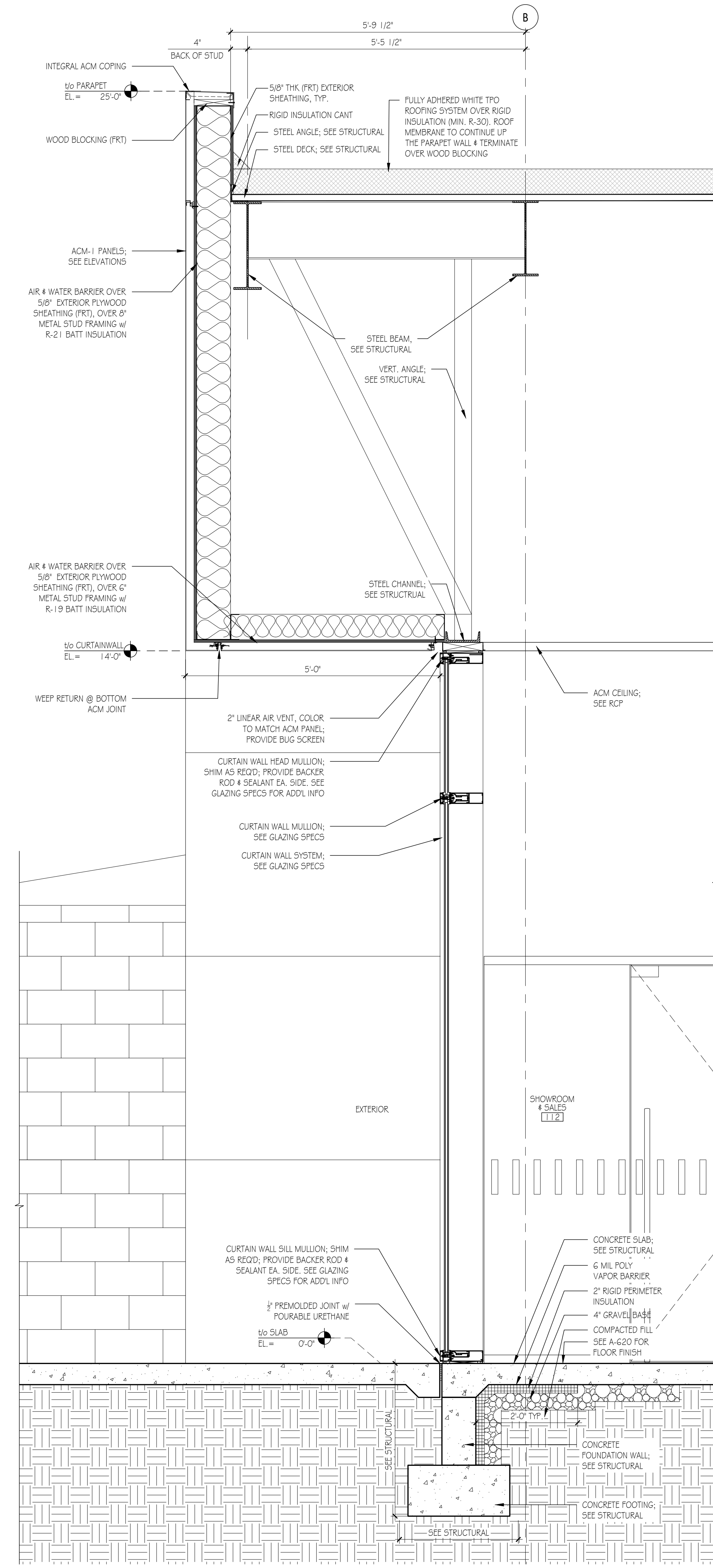
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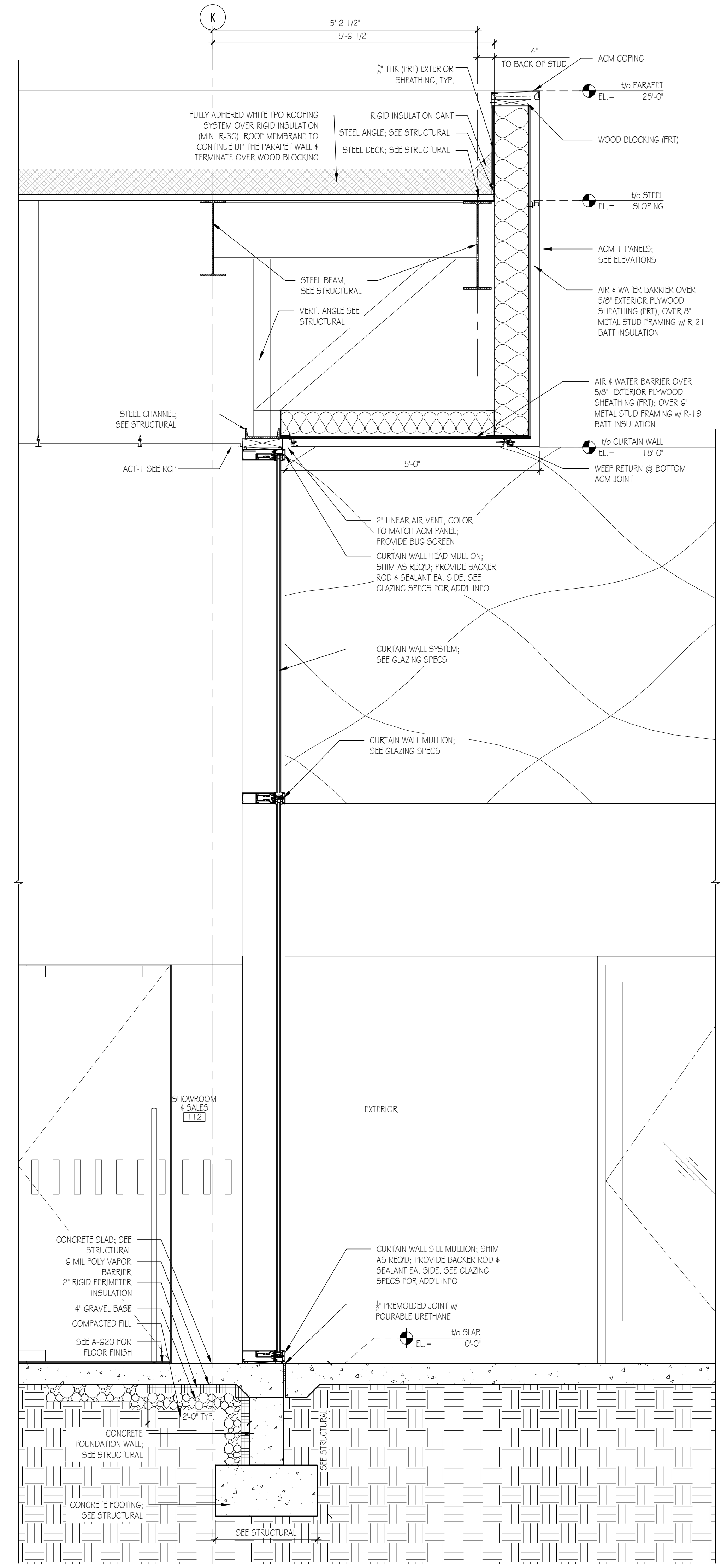
3 WALL SECTION

Scale: 3/4" = 1'-0"



2 WALL SECTION

Scale: 3/4" = 1'-0"



1 WALL SECTION

Scale: 3/4" = 1'-0"

**CMA's Hyundai Winchester**  
Addition & Alteration  
3951 Valley Pike  
Winchester, VA

**CMA Properties**

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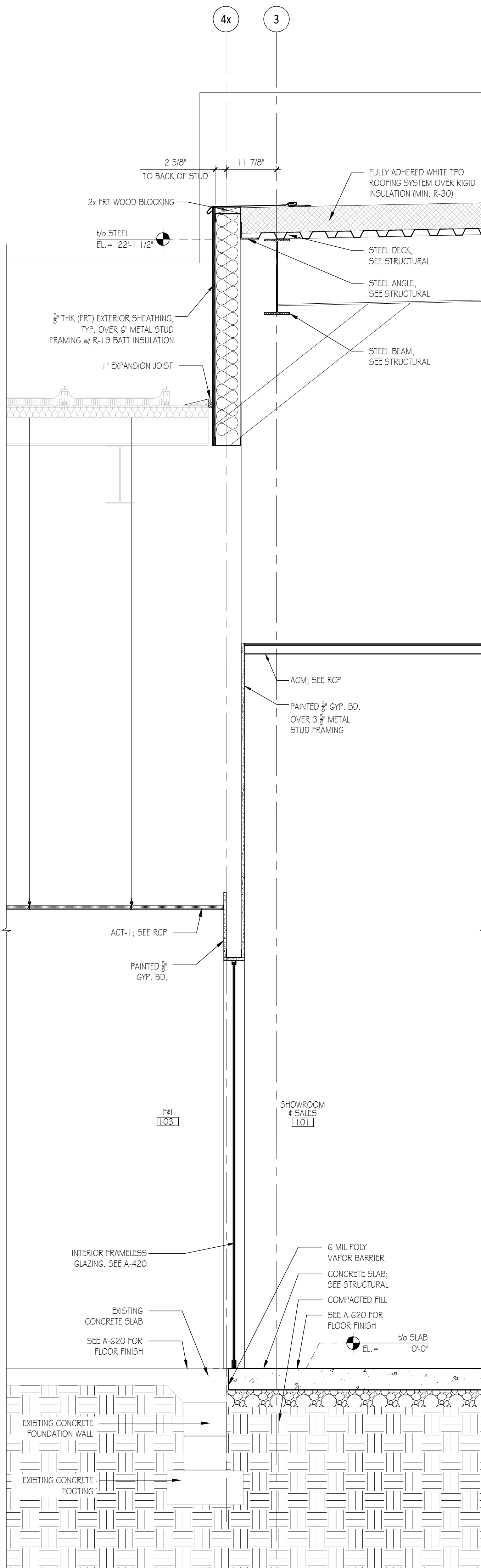
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**A-311**

Sheet Title  
**Wall Sections**

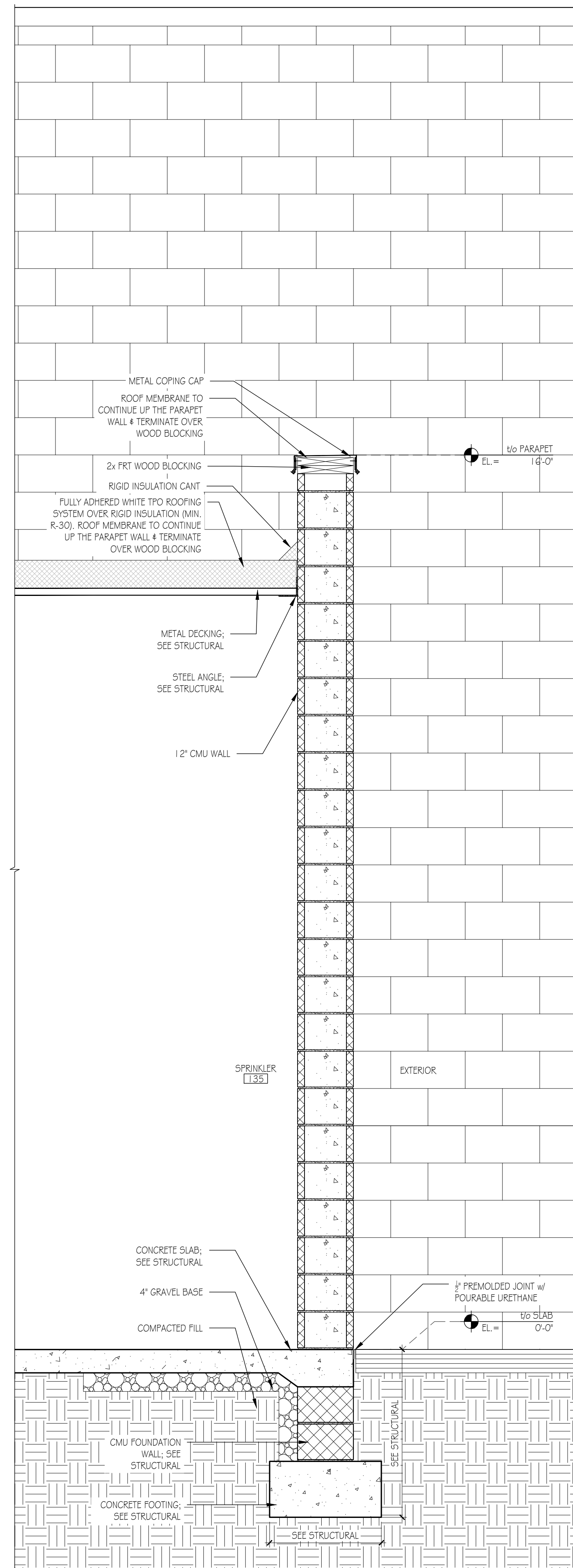
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File Name  
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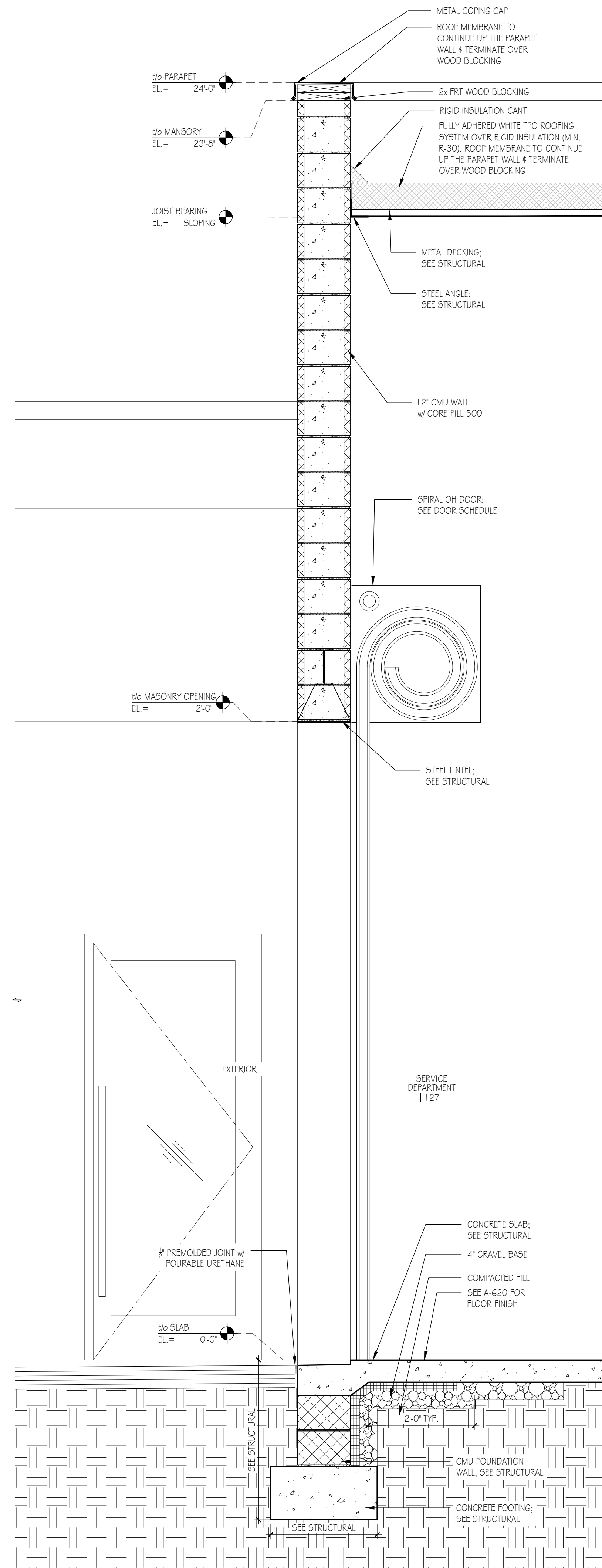
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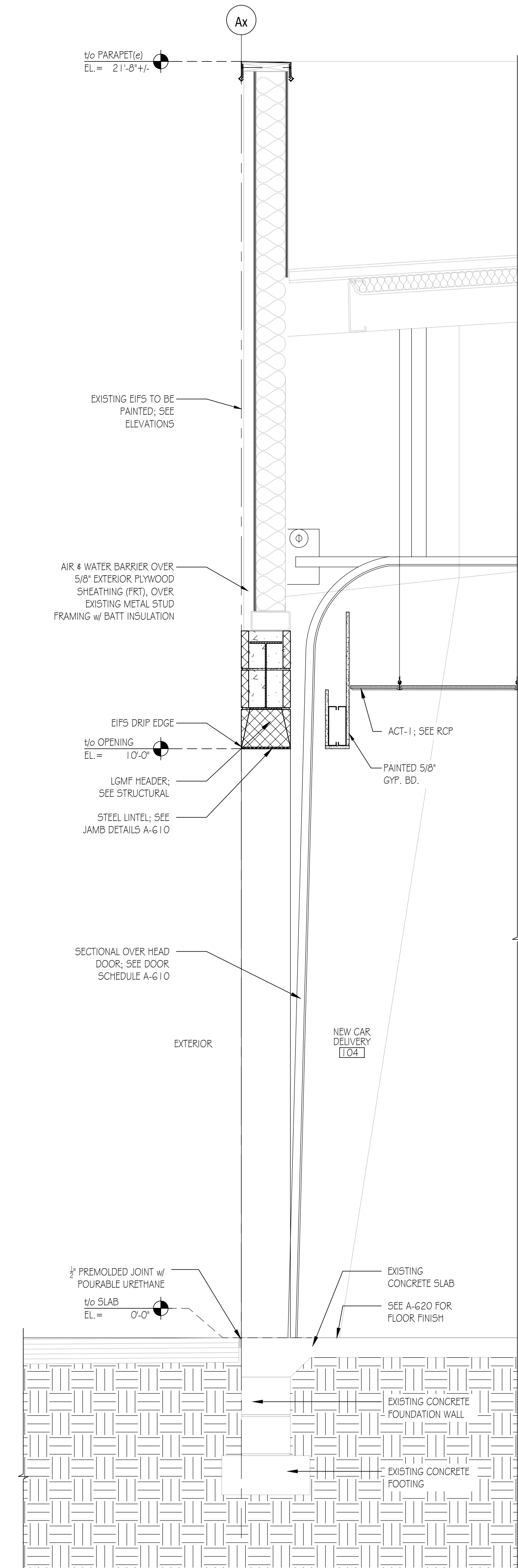
**3 WALL SECTION**

Scale: 3/4" = 1'-0"



**2 WALL SECTION**

Scale: 3/4" = 1'-0"



**1 WALL SECTION**

Scale: 3/4" = 1'-0"

**CMA's Hyundai Winchester**  
Addition & Alteration  
3951 Valley Pike  
Winchester, VA

**CMA Properties**

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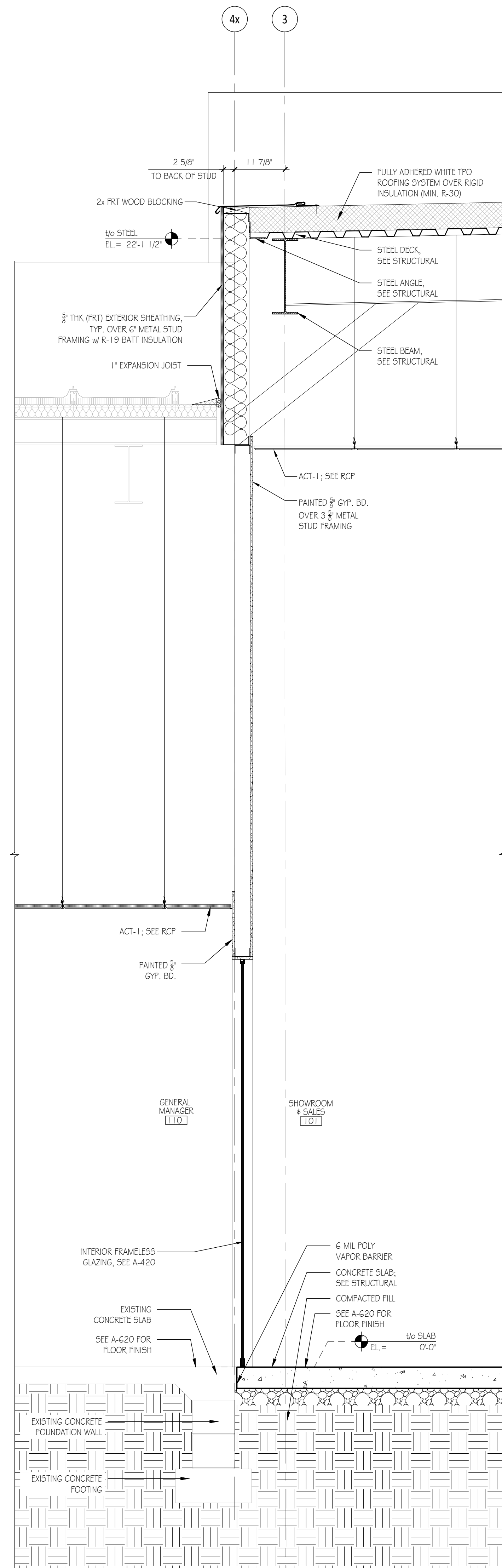
Sheet Number

**A-312**

Sheet Title  
**Wall Sections**

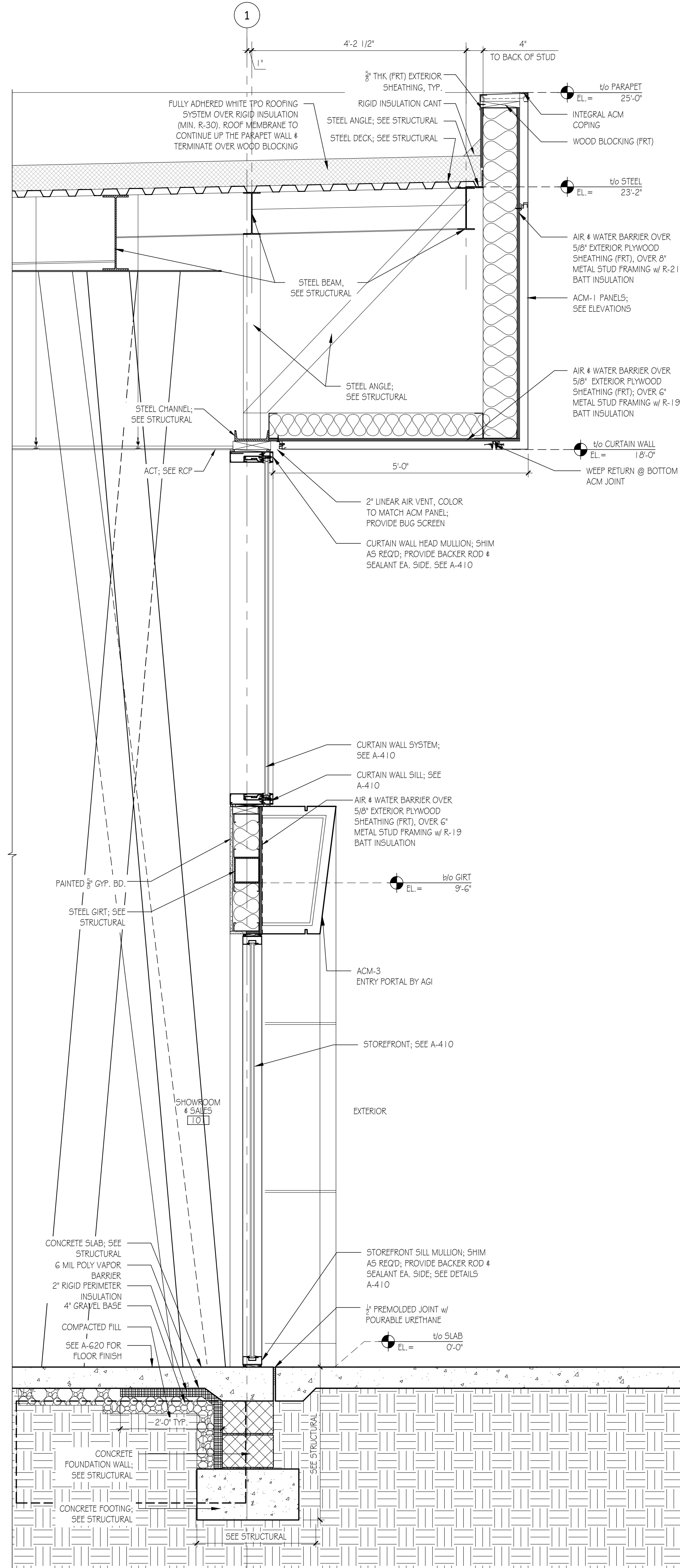
Project Number  
CMA008a

File Name  
A-312.dwg



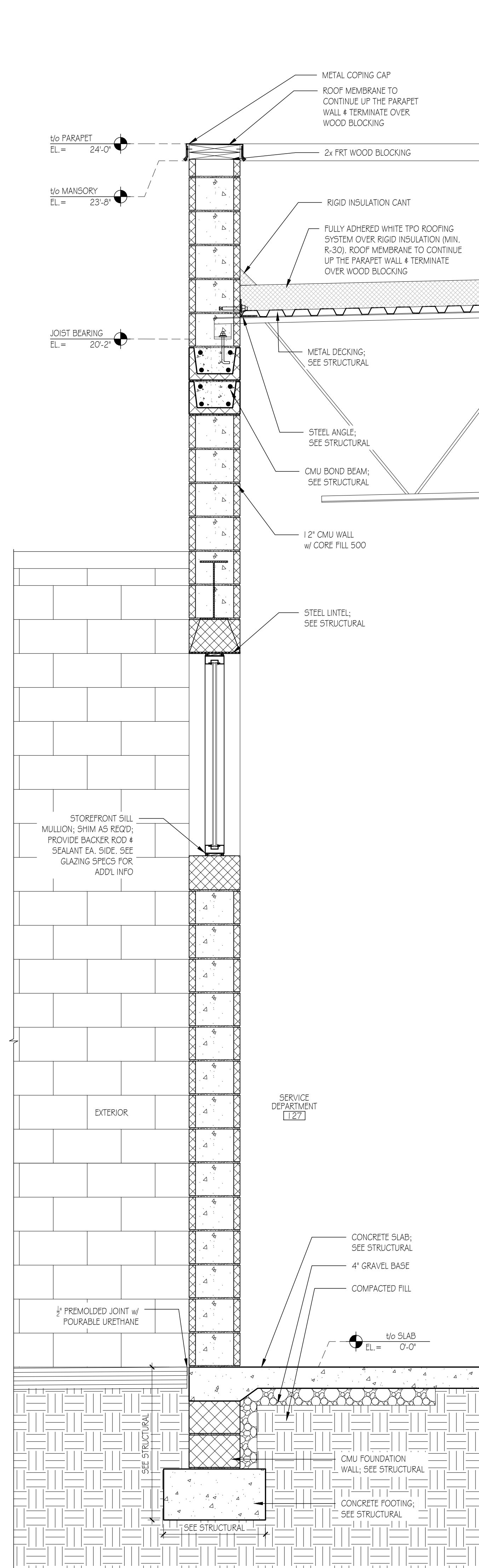
**4 WALL SECTION**

Scale: 3/4"= 1'-0"



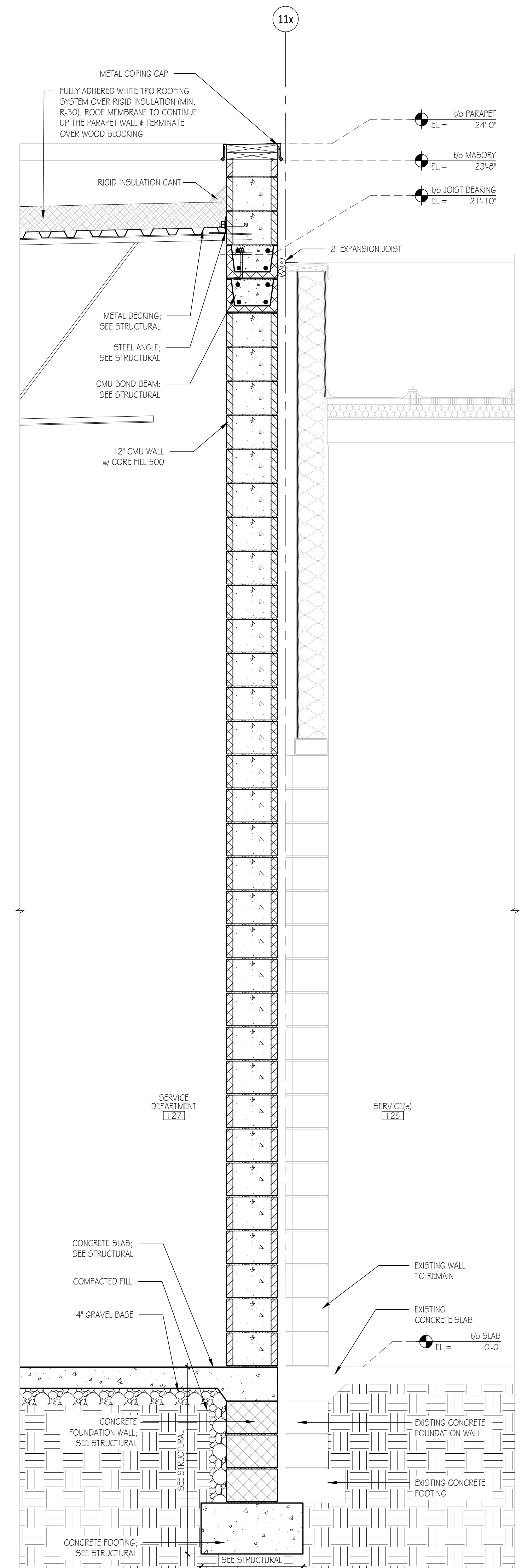
**3 WALL SECTION**

Scale: 3/4"= 1'-0"



**2 WALL SECTION**

Scale: 3/4"= 1'-0"



**1 WALL SECTION**

Scale: 3/4"= 1'-0"



**CMA's Hyundai Winchester**  
Addition & Alteration  
3951 Valley Pike  
Winchester, VA

**CMA Properties**

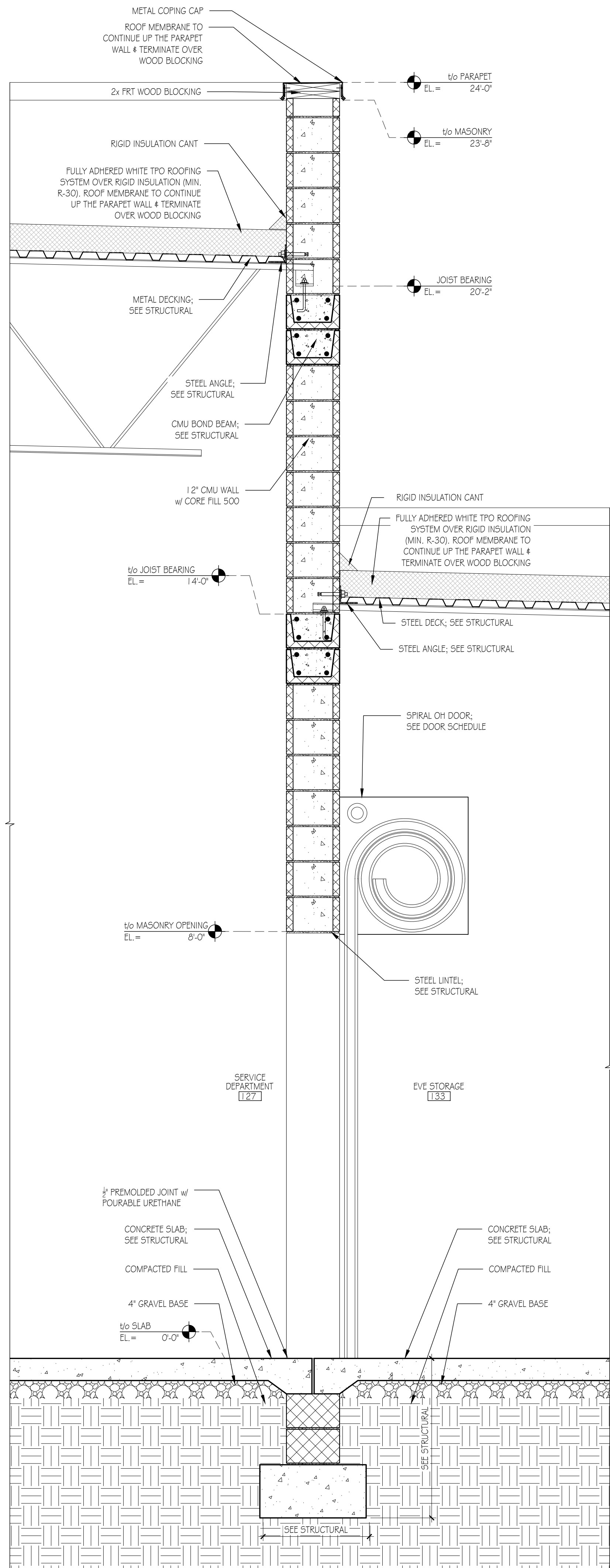
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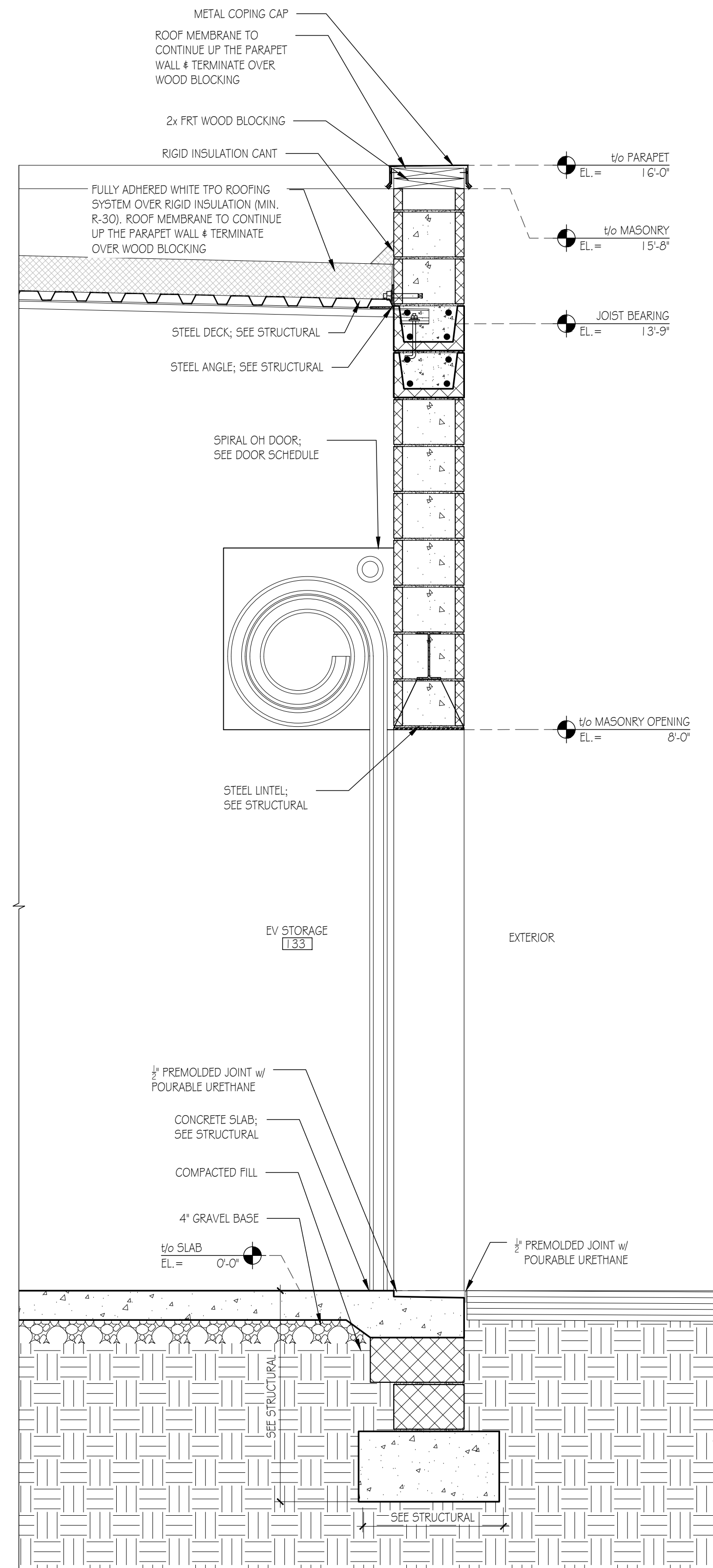
Bid Set: 2023.07.27  
HMA 75% Submission: 2023.03.31  
No. Issue / Revision: Date  
Drawn By: LH  
Checked By: JP  
Plot Date: August 2, 2023

Sheet Number  
**A-313**  
Sheet Title  
**Wall Sections**

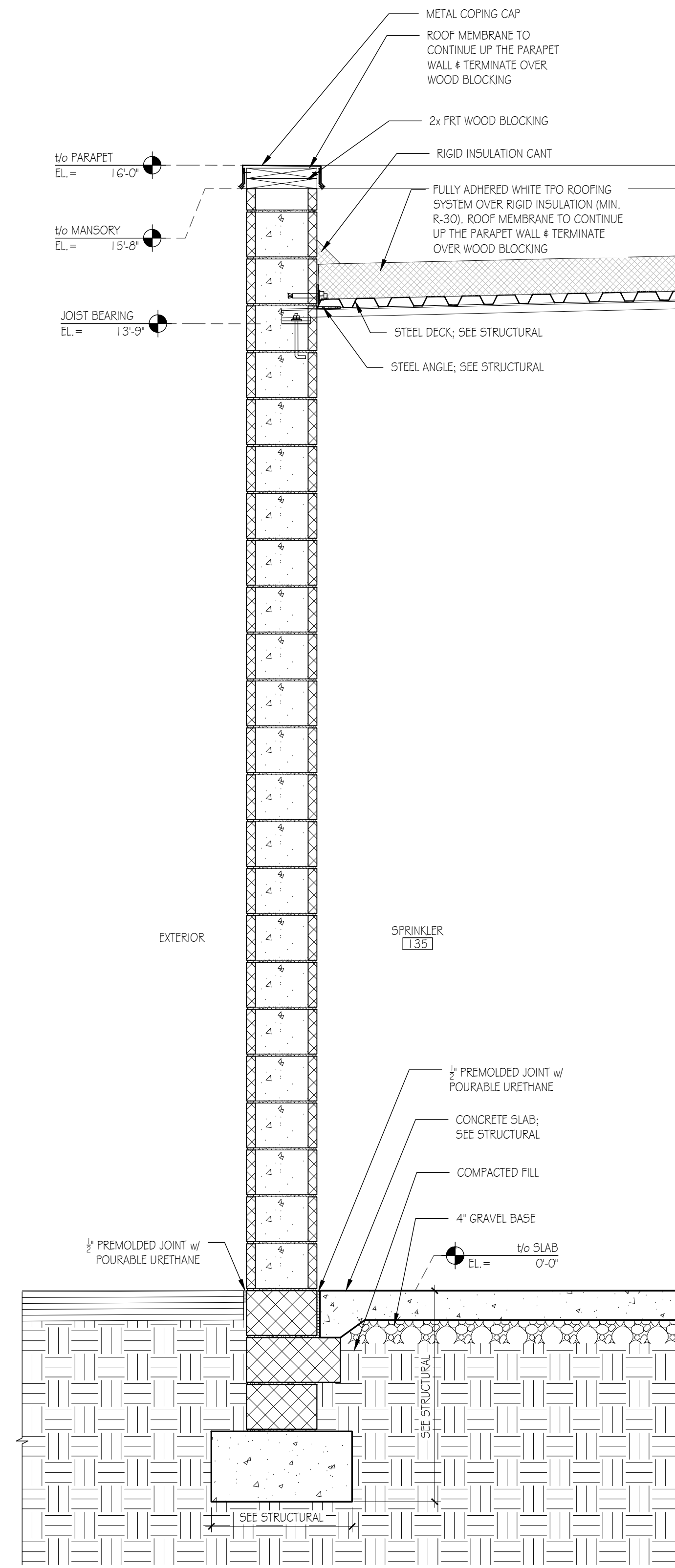
Project Number: CMA008a File Name: A-313.dwg



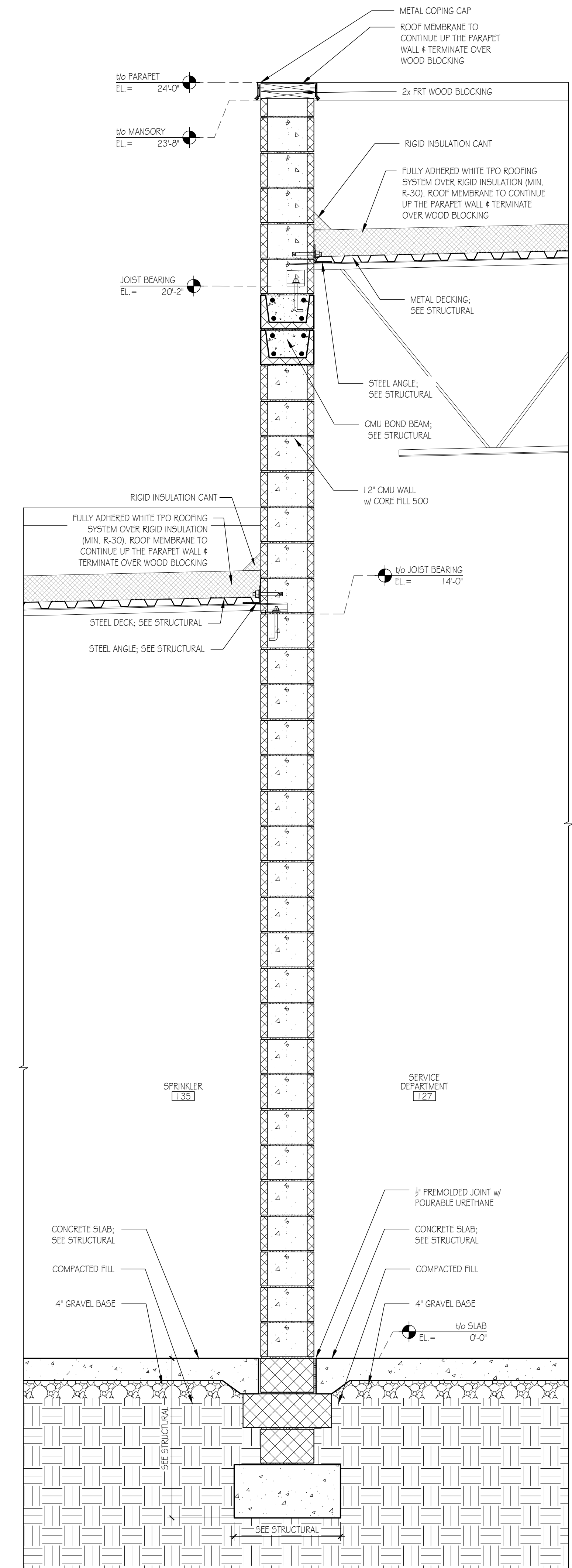
**4 WALL SECTION** Scale: 3/4" = 1'-0"



**3 WALL SECTION** Scale: 3/4" = 1'-0"



**2 WALL SECTION** Scale: 3/4" = 1'-0"



**1 WALL SECTION** Scale: 3/4" = 1'-0"

**CMA's Hyundai Winchester**  
Addition & Alteration

3951 Valley Pike  
Winchester, VA

**CMA Properties**

100 Myers Drive  
Charlottesville, VA 22901

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Bid Set	2023.07.27
HMA 75% Submission	2023.03.31
No. Issue / Revision	Date
Drawn By:	LH
Checked By:	JP
Plot Date:	August 2, 2023

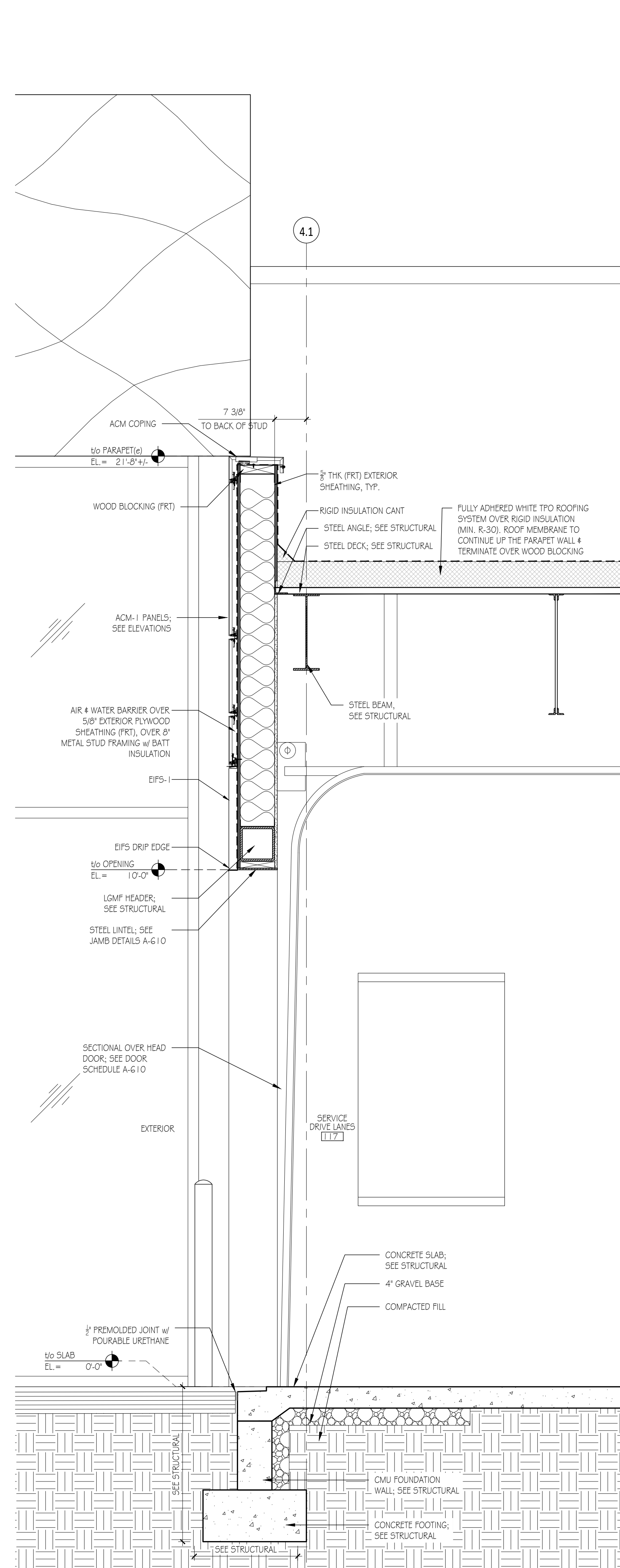
Sheet Number

**A-314**

Sheet Title  
**Wall Sections**

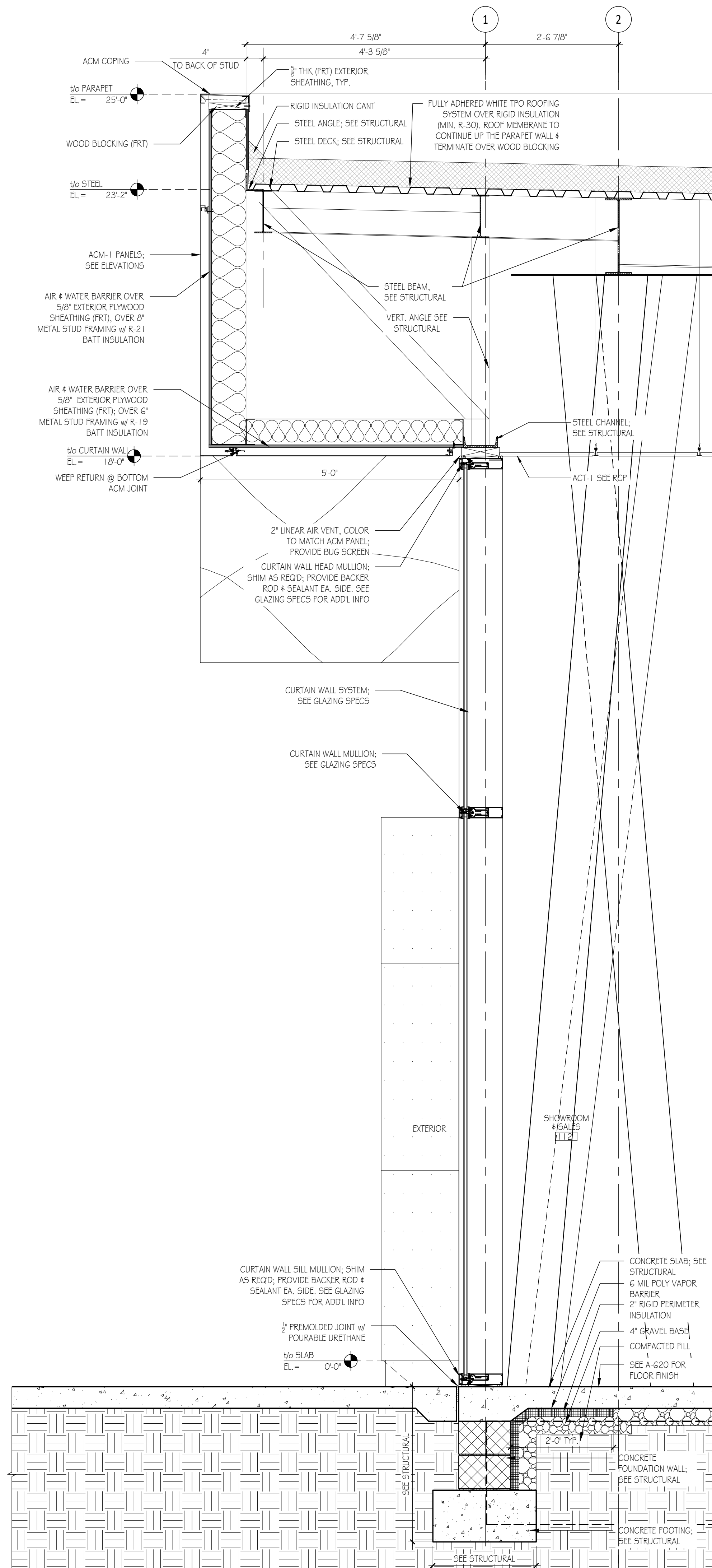
Project Number  
CMA008a

File Name  
A-314.dwg



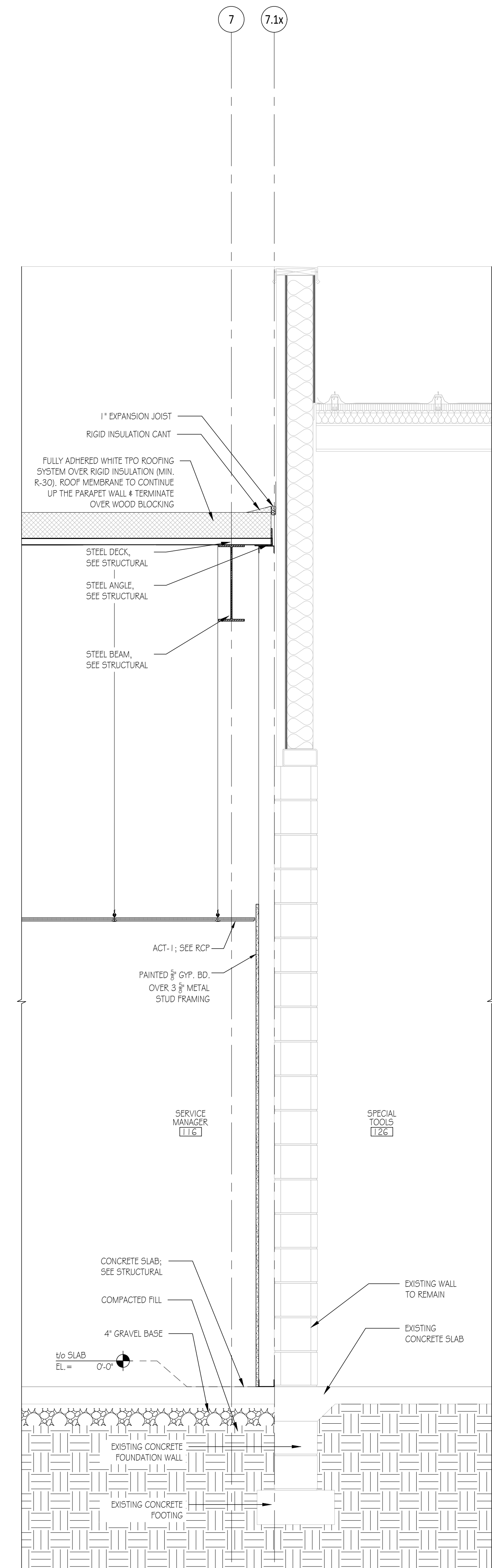
**3 WALL SECTION**

Scale: 3/4" = 1'-0"



**2 WALL SECTION**

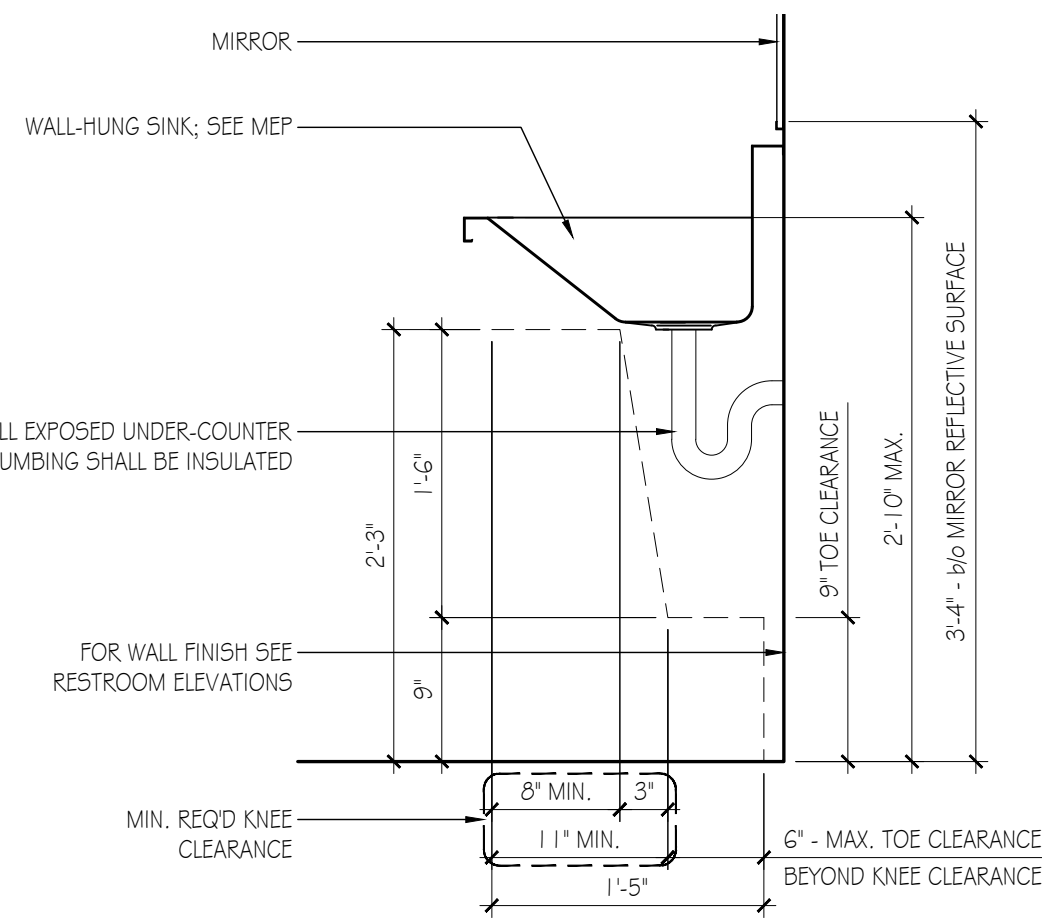
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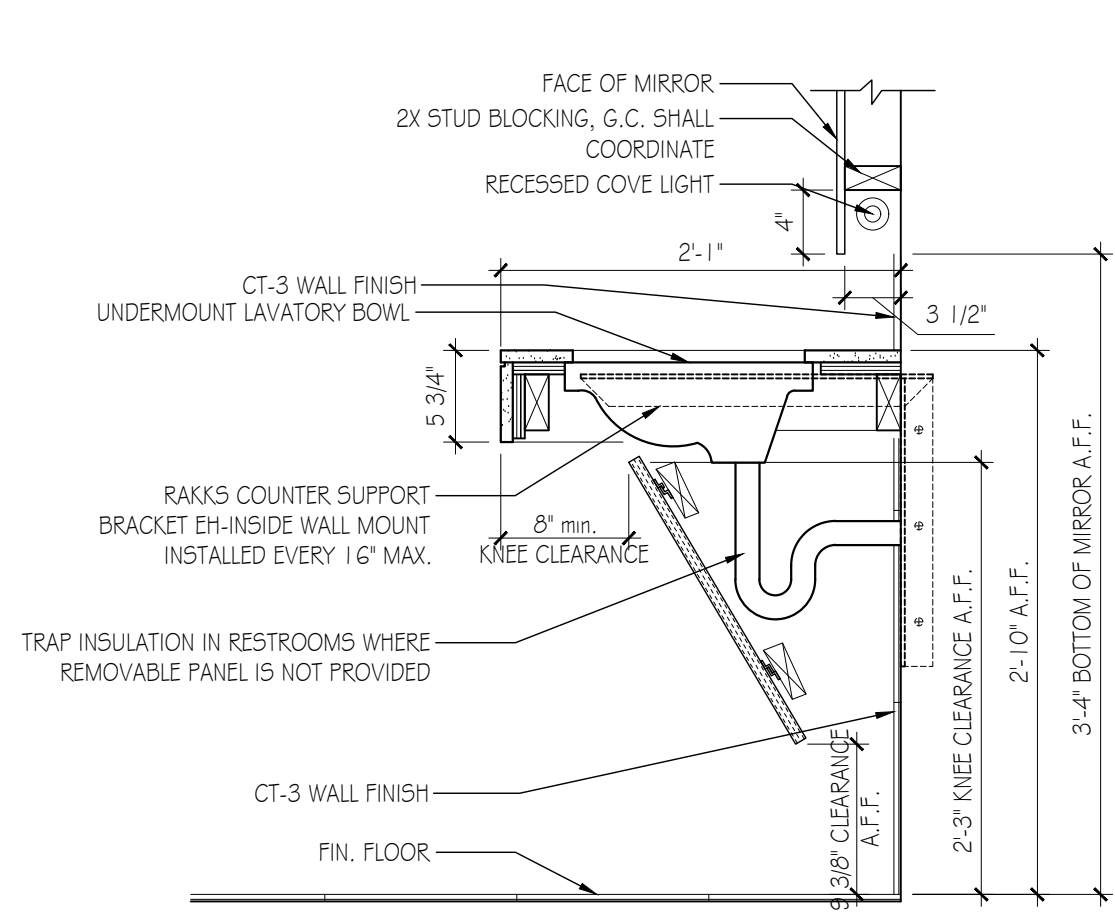
**1 WALL SECTION**

Scale: 3/4" = 1'-0"

LAVATORY SECTIONS

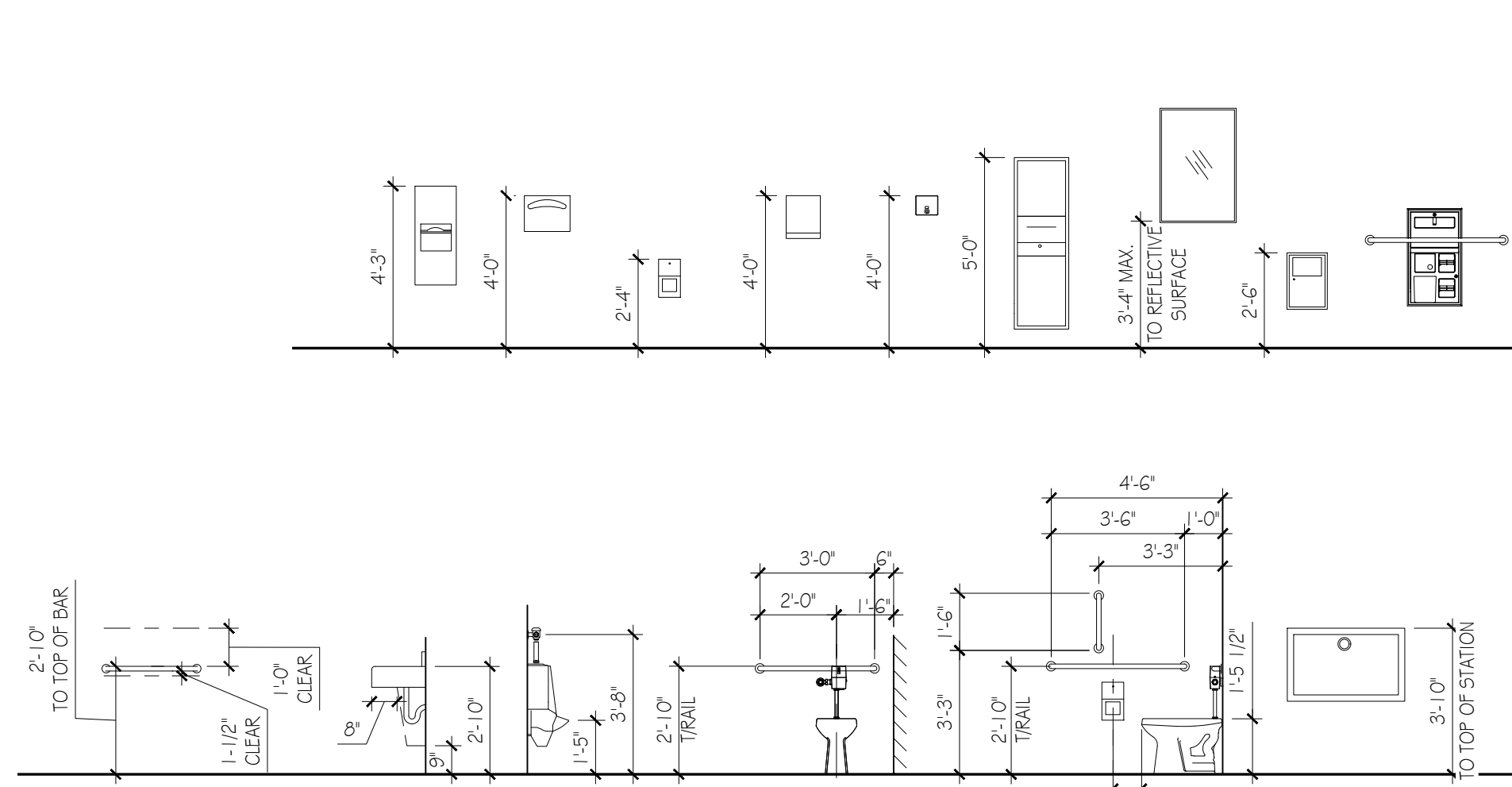


**B** SINK DETAIL - WALL MOUNTED  
Scale: 1" = 1'-0"



**A** SINK SECTION - SOLID SURFACE  
Scale: 1" = 1'-0"

TYPICAL RESTROOM ACCESSORY

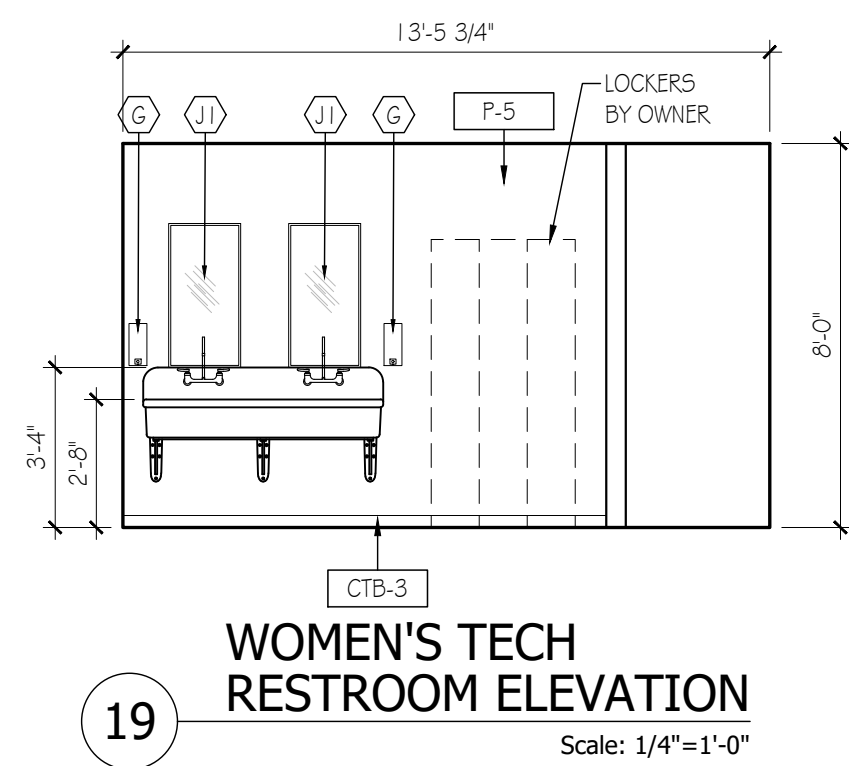


RESTROOM ACCESSORY SCHEDULE

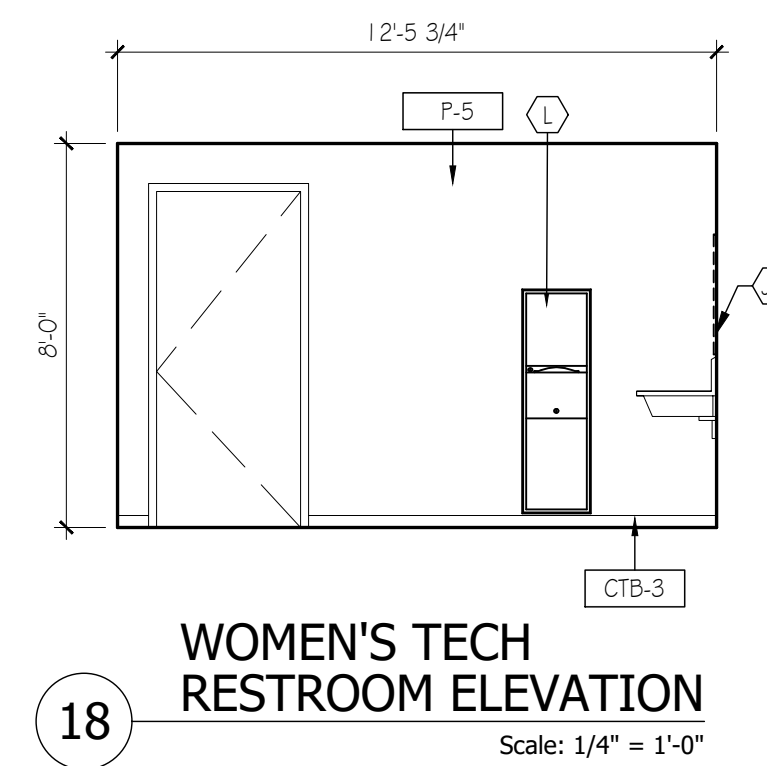
ITEM	MANUFACTURER	REMARKS	NOTES
A	GRAB BARS	BOBRICK B-600G X 36"	1,2
B	GRAB BARS	BOBRICK B-600G X 42"	1,2
C	GRAB BARS	BOBRICK B-600G X 18"	1,2
D	COAT HOOK BUMPER	BOBRICK B-212	2
E	TOILET TISSUE DISPENSER	BOBRICK B-2892	1,2
F	SANITARY NAPKIN DISPOSAL	BOBRICK B-35139	2
G	WALL MOUNTED SOAP DISPENSER	BOBRICK B-2111	1,2
H	PAPER TOWEL DISPENSER/WASTE RECEPTACLE	BOBRICK B-3949	1,2
J1	MIRROR	BOBRICK B-2993, 2436	1,2
J2	MIRROR	BOBRICK B-2993, 1636	1,2,3
K, I	TOILET PARTITION	BOBRICK, STAINLESS STEEL, CONTINUOUS HINGE	FLOOR MOUNTED
K, 2	URINAL PARTITION	BOBRICK, STAINLESS STEEL, 24x48	SURFACE MOUNTED
L	PAPER TOWEL DISPENSER/WASTE RECEPTACLE	BOBRICK B-3949	SURFACE MOUNTED
M	SEAT COVER / TISSUE DISPENSER	BOBRICK B-3474	RECESSED 4 SURFACE MOUNTED
N	SEAT COVER / TISSUE DISPENSER / SANITARY NAPKIN DISPOSAL	BOBRICK B-3574	RECESSED 4 SURFACE MOUNTED
P	AUTOMATIC SOAP DISPENSER	BRADLEY 6A00	SURFACE MOUNTED
Q	BABY CHANGING STATION	KOALA KARE, KB110-55RE	RECESSED, STAINLESS STEEL FINISH
R	HAND DRYER	XLERATOR, XL-5B w/ RECESSED ADA MOUNT KIT	BRUSHED STAINLESS STEEL

NOTES:  
 1. PROVIDE BLOCKING AS REQ'D  
 2. MOUNT ALL ACCESSORIES PER ADA REQ'D MOUNTING HEIGHTS  
 3. PROVIDE POWER AS REQ'D  
 GENERAL NOTES:  
 • G.C. SHALL COORDINATE ADDITIONAL ACCESSORIES & ALL FINAL SELECTIONS w/ OWNER  
 • G.C. TO PROVIDE TRAP INSULATION @ ALL REQUIRED LOCATIONS; SEE PLUMBING DRAWINGS

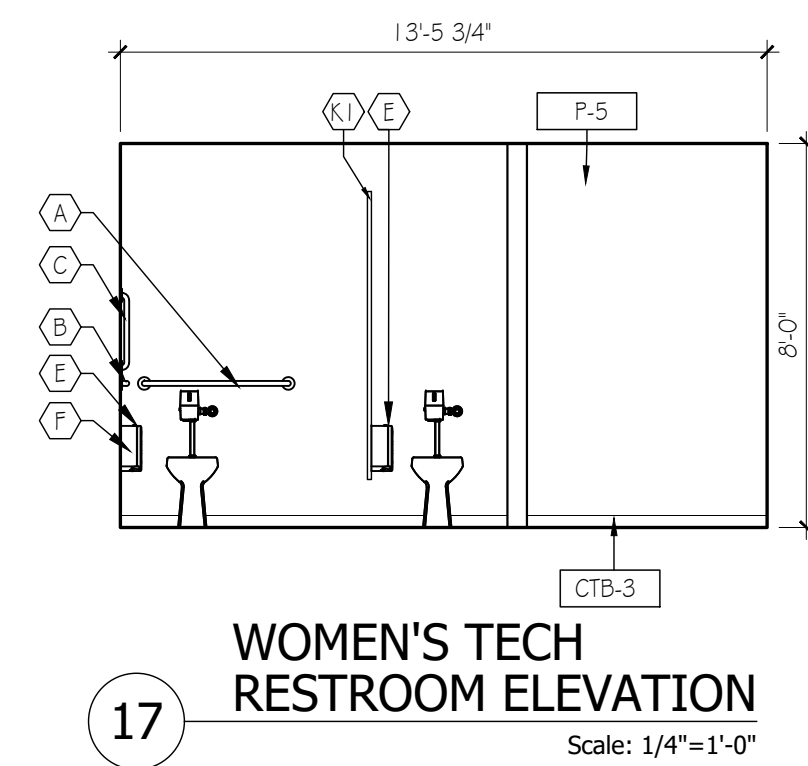
RESTROOM PLANS & ELEVATIONS



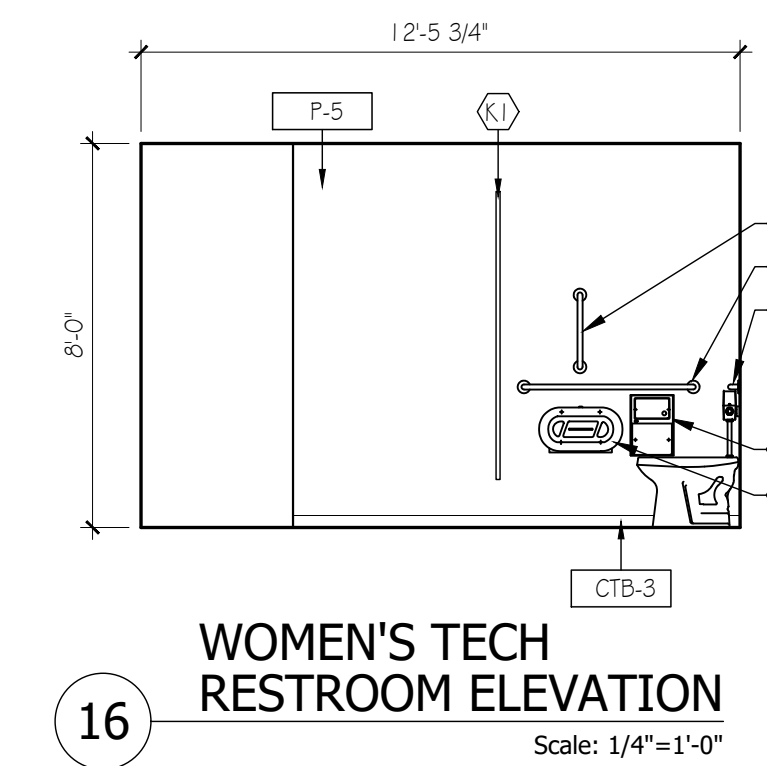
**19** WOMEN'S TECH RESTROOM ELEVATION  
Scale: 1/4" = 1'-0"



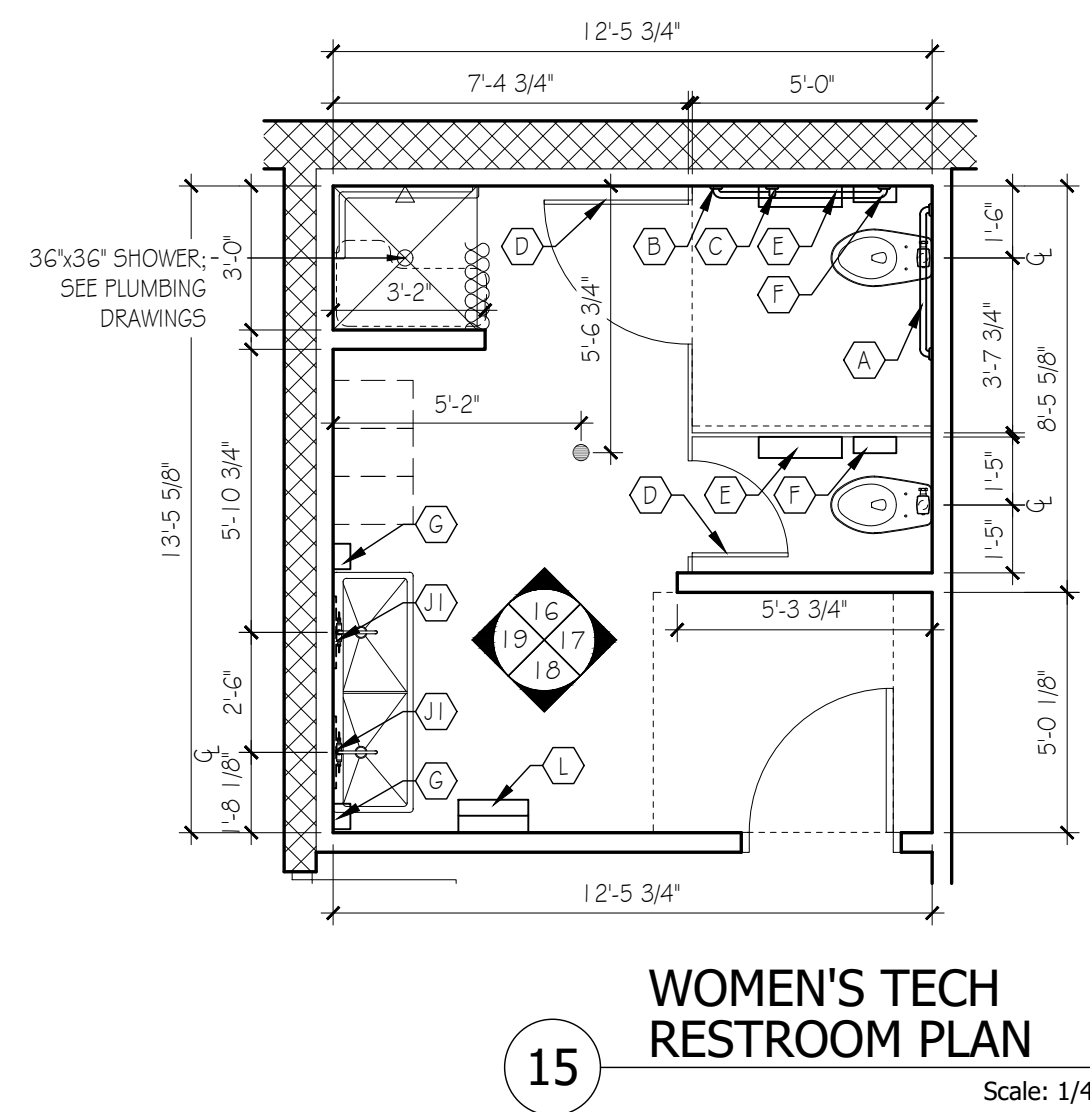
**18** WOMEN'S TECH RESTROOM ELEVATION  
Scale: 1/4" = 1'-0"



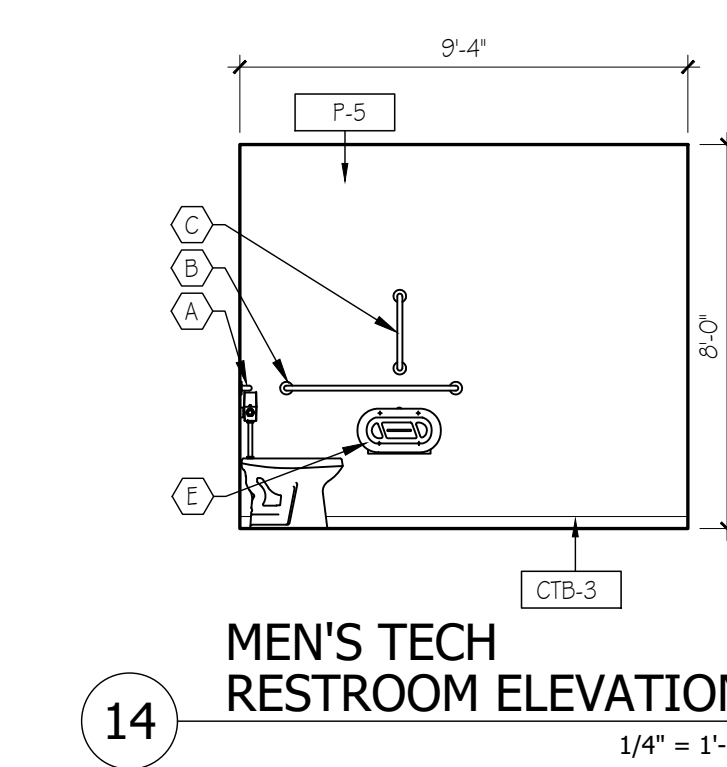
**17** WOMEN'S TECH RESTROOM ELEVATION  
Scale: 1/4" = 1'-0"



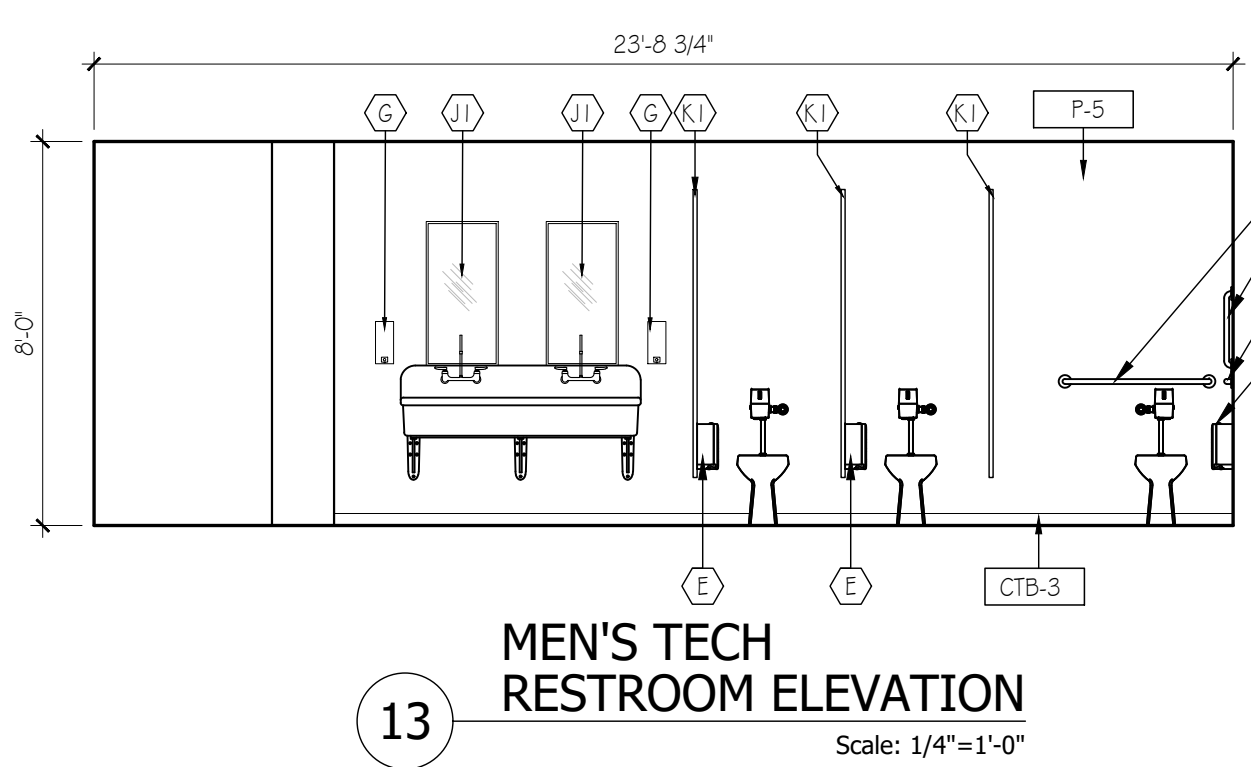
**16** WOMEN'S TECH RESTROOM ELEVATION  
Scale: 1/4" = 1'-0"



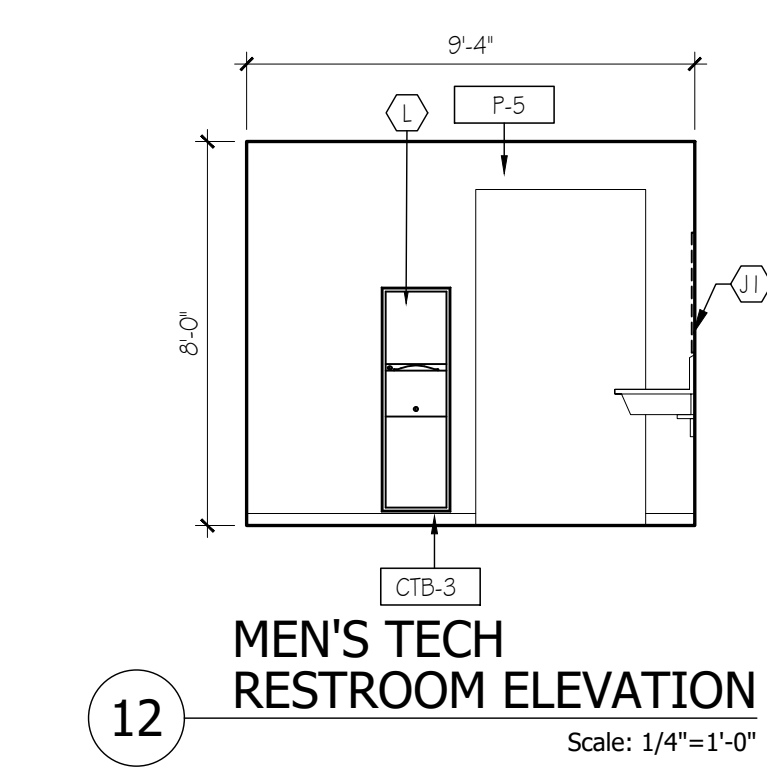
**15** WOMEN'S TECH RESTROOM PLAN  
Scale: 1/4" = 1'-0"



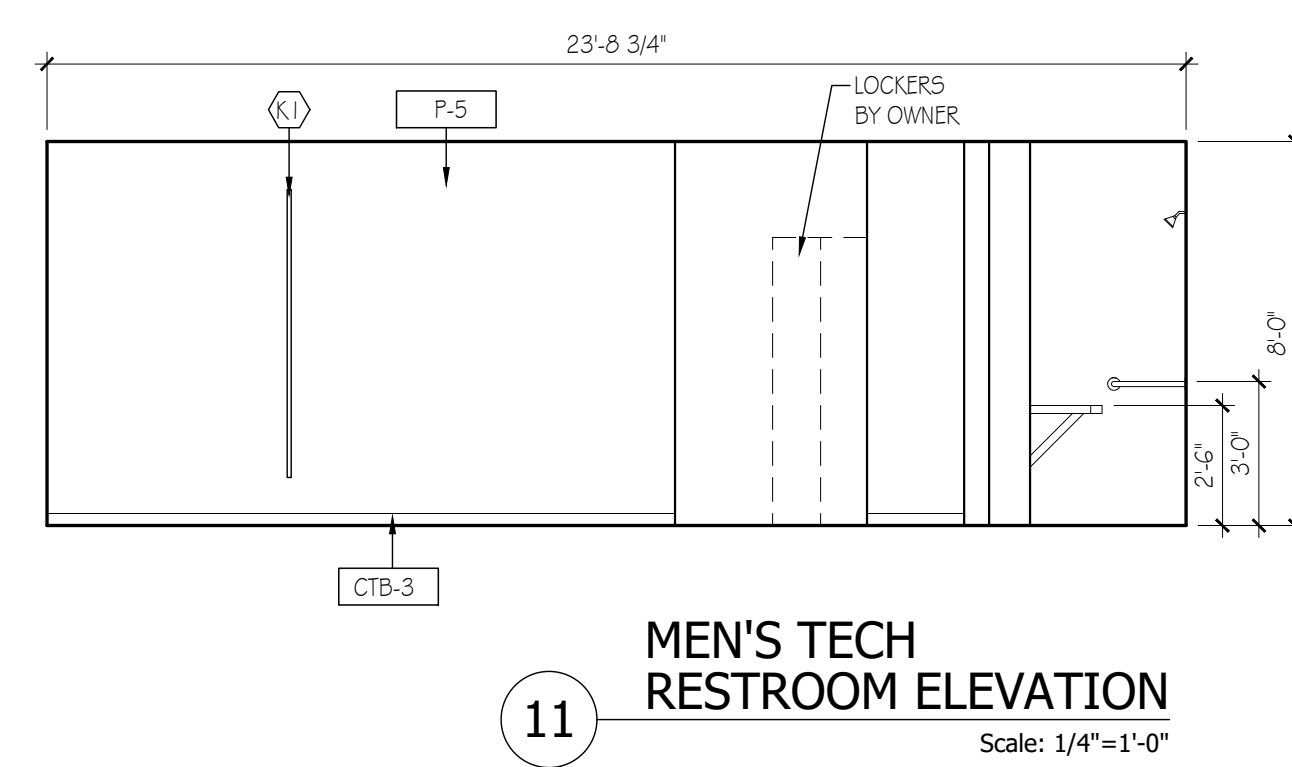
**14** MEN'S TECH RESTROOM ELEVATION  
Scale: 1/4" = 1'-0"



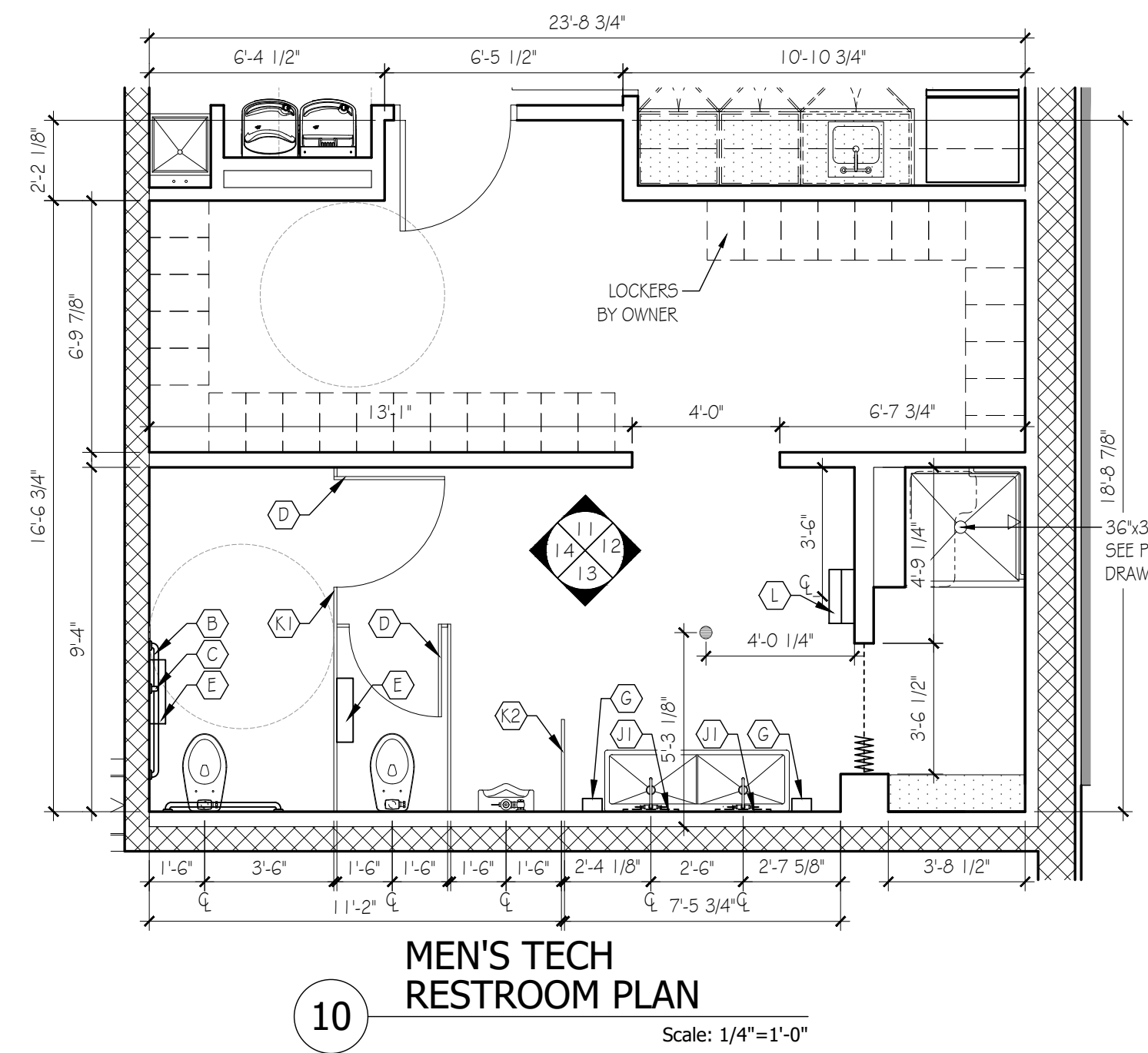
**13** MEN'S TECH RESTROOM ELEVATION  
Scale: 1/4" = 1'-0"



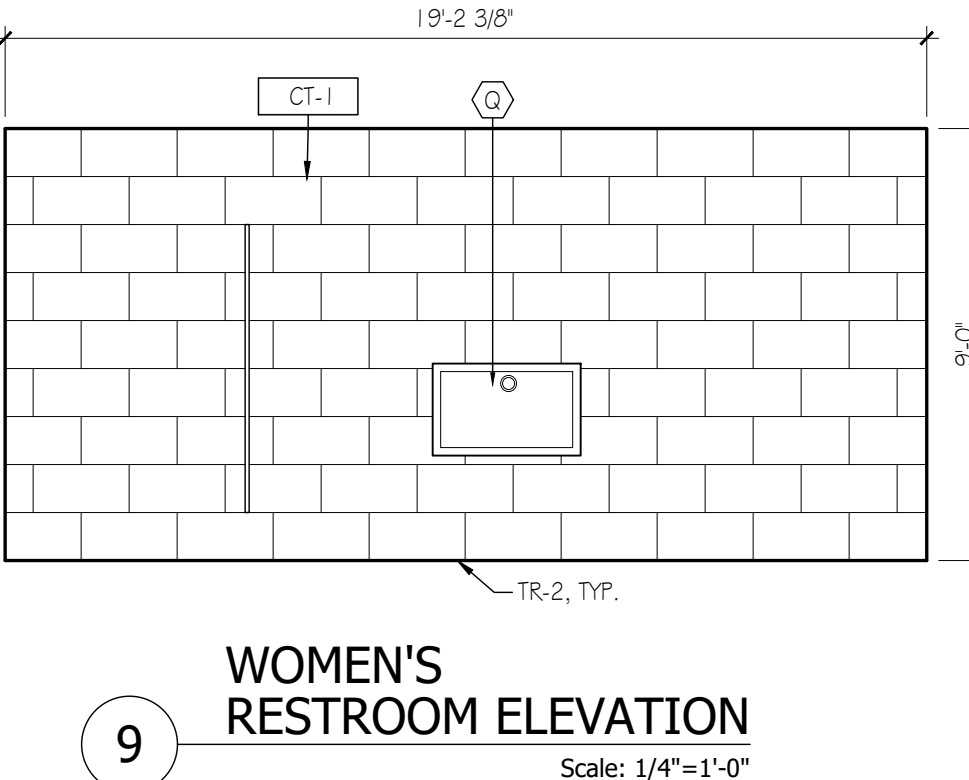
**12** MEN'S TECH RESTROOM ELEVATION  
Scale: 1/4" = 1'-0"



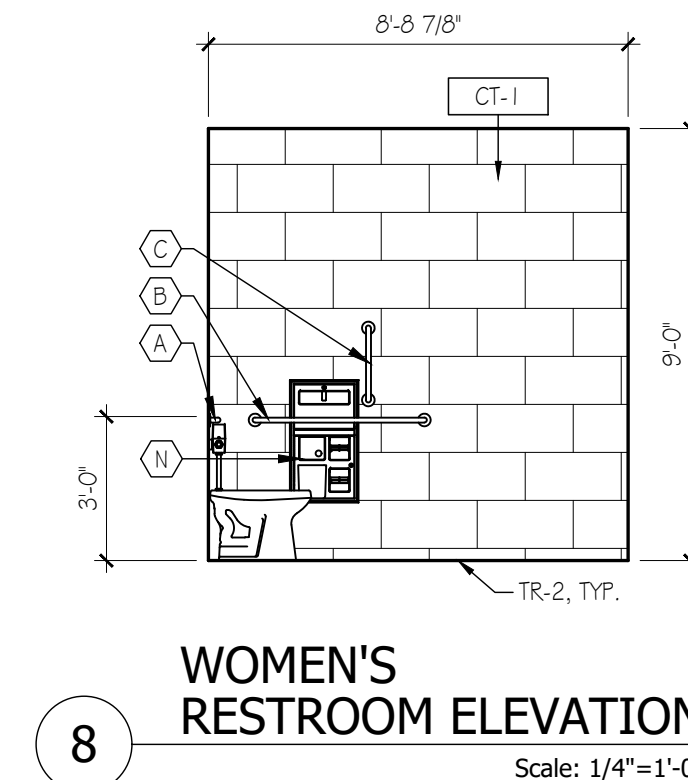
**11** MEN'S TECH RESTROOM ELEVATION  
Scale: 1/4" = 1'-0"



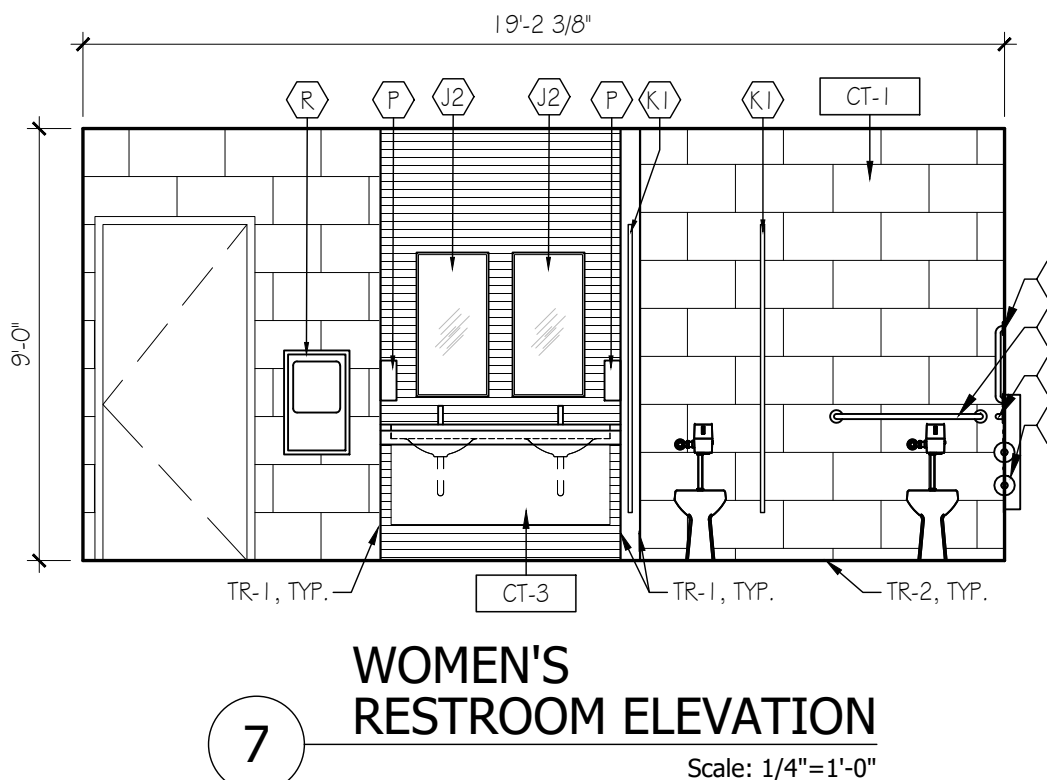
**10** MEN'S TECH RESTROOM PLAN  
Scale: 1/4" = 1'-0"



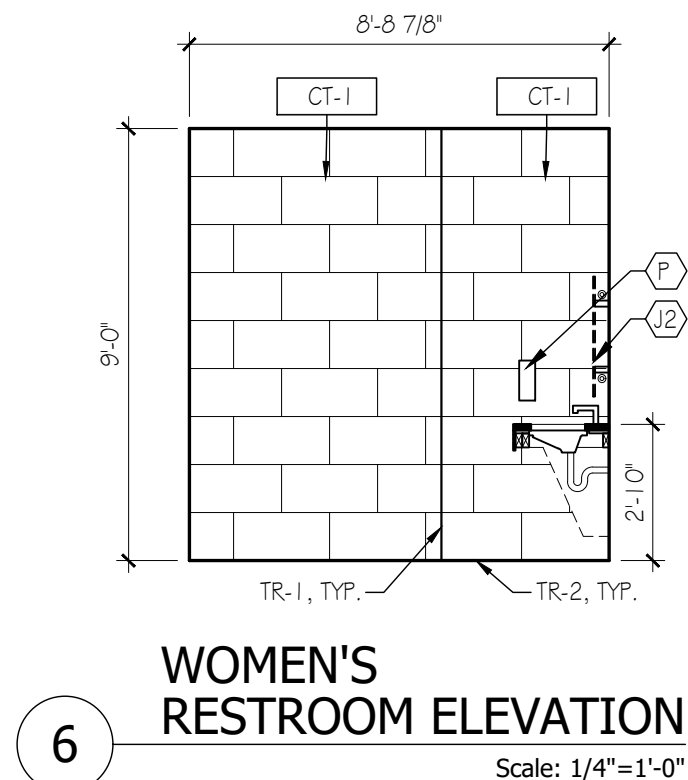
**9** WOMEN'S RESTROOM ELEVATION  
Scale: 1/4" = 1'-0"



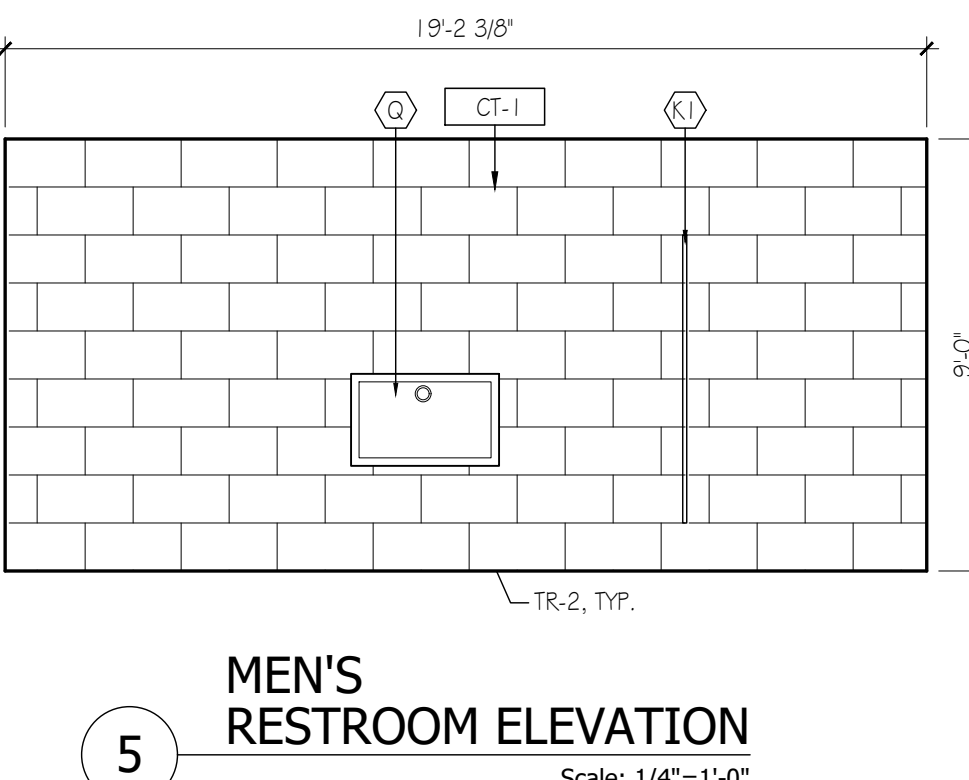
**8** WOMEN'S RESTROOM ELEVATION  
Scale: 1/4" = 1'-0"



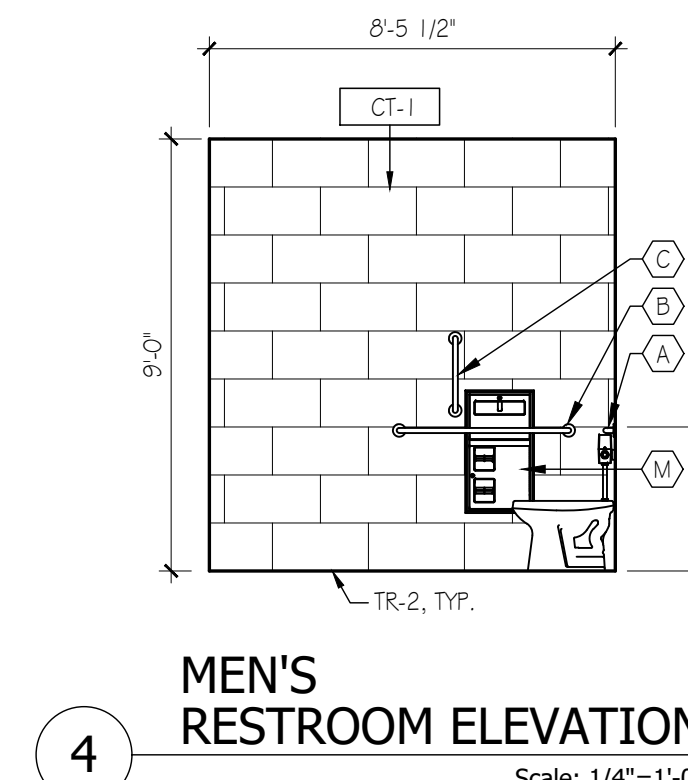
**7** WOMEN'S RESTROOM ELEVATION  
Scale: 1/4" = 1'-0"



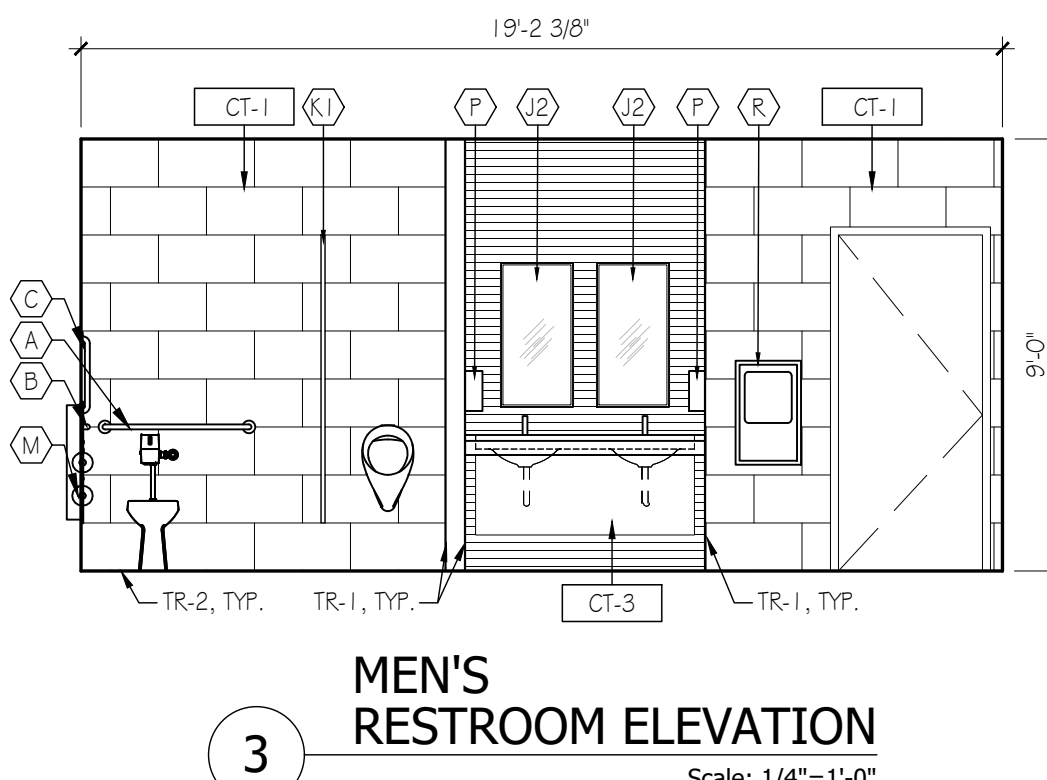
**6** WOMEN'S RESTROOM ELEVATION  
Scale: 1/4" = 1'-0"



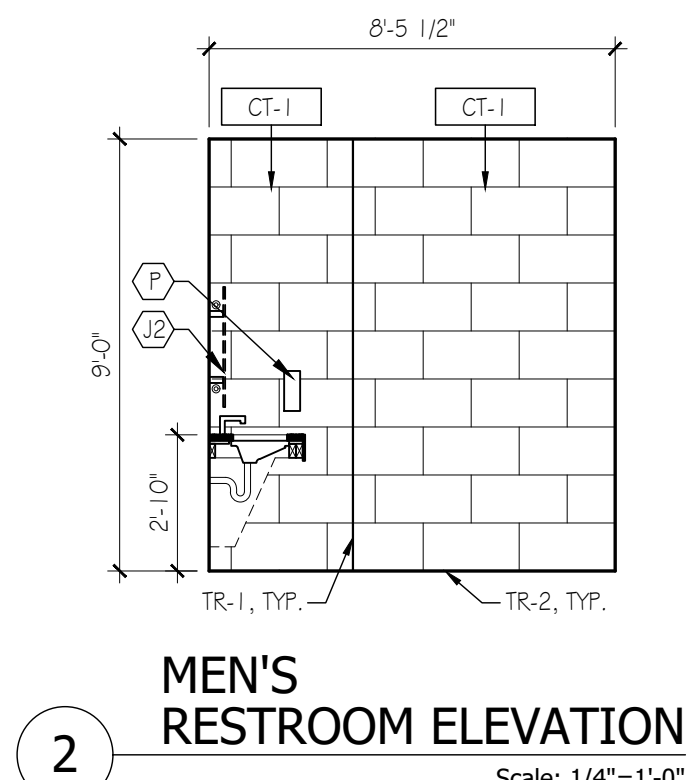
**5** MEN'S RESTROOM ELEVATION  
Scale: 1/4" = 1'-0"



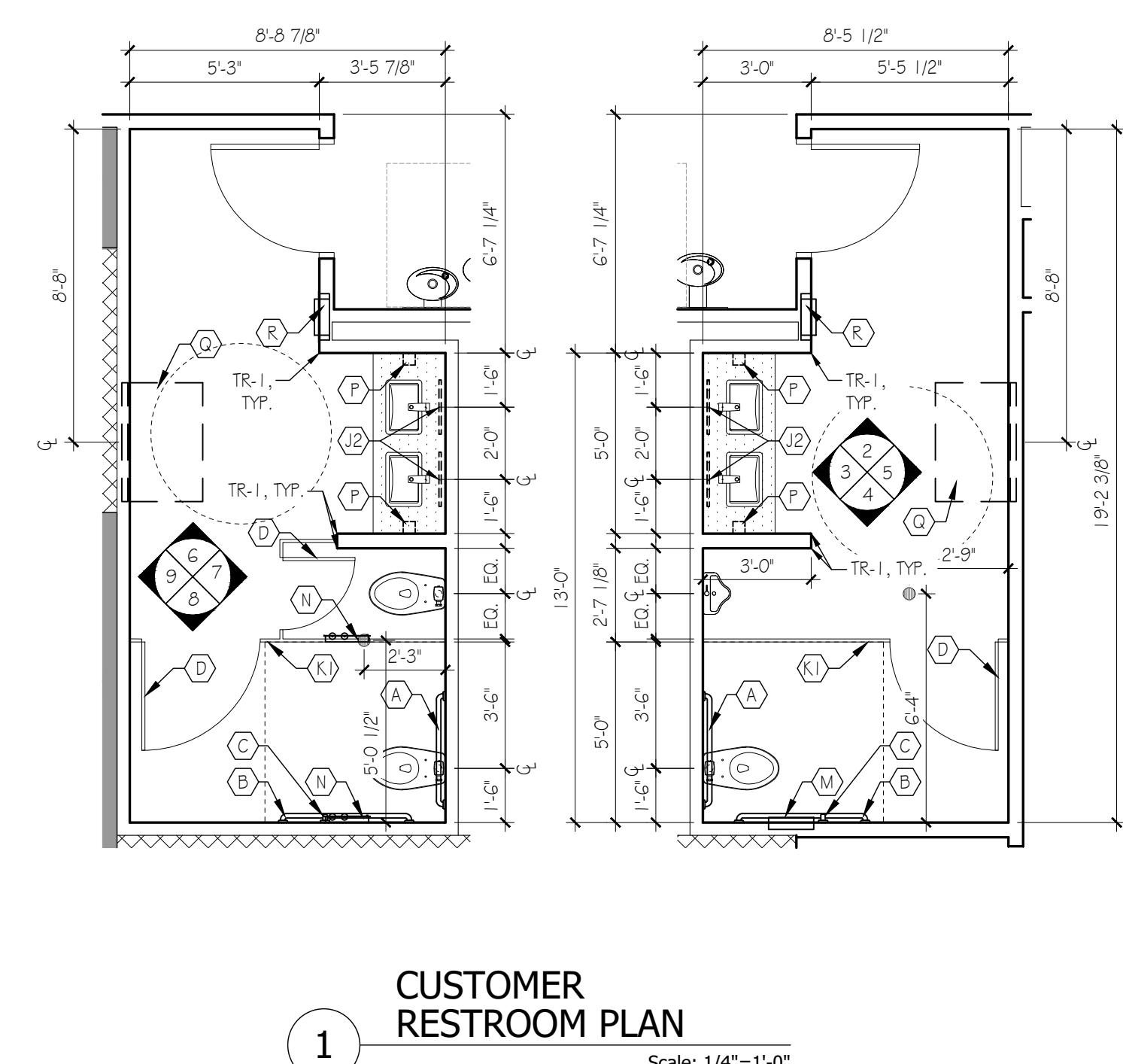
**4** MEN'S RESTROOM ELEVATION  
Scale: 1/4" = 1'-0"



**3** MEN'S RESTROOM ELEVATION  
Scale: 1/4" = 1'-0"



**2** MEN'S RESTROOM ELEVATION  
Scale: 1/4" = 1'-0"



**1** CUSTOMER RESTROOM PLAN  
Scale: 1/4" = 1'-0"

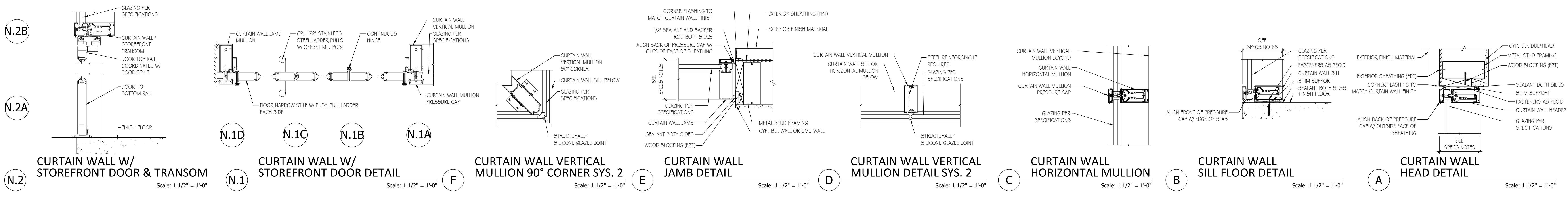
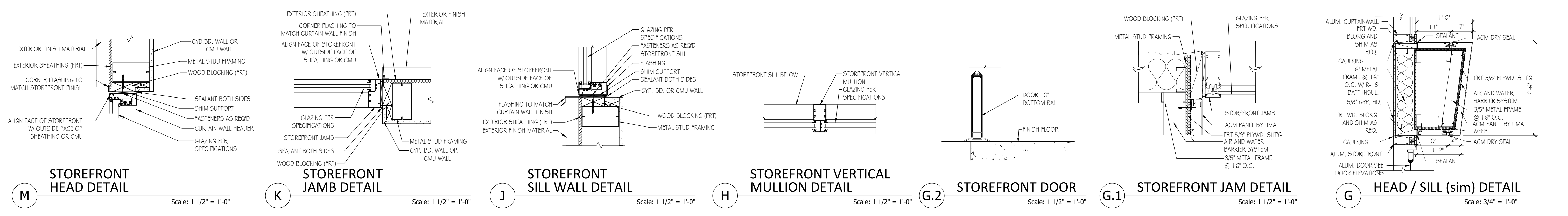
I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Virginia. License number: 0403014019, expiration date: December 31, 2023.

Bid Set: 2023.07.27  
 HMA 75% Submission: 2023.03.31  
 No. Issue / Revision Date  
 Drawn By: LH  
 Checked By: JP  
 Plot Date: August 2, 2023

Sheet Number  
**A-400**  
 Sheet Title  
**Restroom Details**

Project Number: CMA008a File Name: A-400.dwg

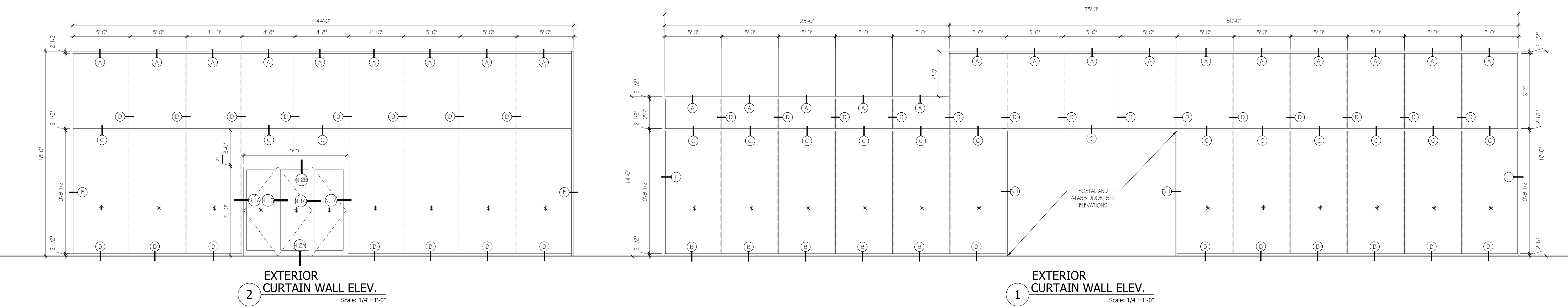
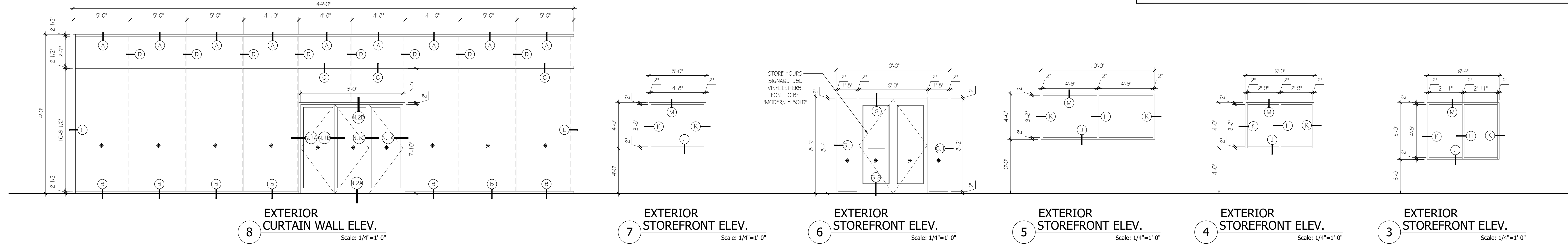
EXTERIOR GLAZING DETAILS



EXTERIOR GLAZING ELEVATIONS

EXTERIOR GLAZING NOTES

- EXTERIOR CURTAIN WALL SYSTEMS
  - SYSTEM EM-2: KAWNEER 1500 WALL SYSTEM 2 CURTAIN WALL SYSTEM - CAPTURED 4 5/8" VERTICALS W/ THERMAL BREAK - 2-1/2" x 10-1/8" FRAME - 1" INSULATED GLAZING - FRONT PLANE GLAZED W/ STEEL REINFORCING AS REQUIRED. CLEAR ANODIZED FINISH, TYP. U.N.O.
  - EXT. STOREFRONT ENTRY DOOR ALUM. / GLASS, CLEAR ANODIZED NARROW STILE DOOR W/ ALUM. FRAME W/ 1" EXTERIOR GLASS W/ 10" BOTTOM RAIL
  - EXT. AUTO SHOWROOM BI-FOLD STOREFRONT DOORS ALUM. / GLASS, CLEAR ANODIZED NARROW STILE DOOR W/ ALUM. FRAME W/ 1" EXTERIOR GLASS
  - AIR INFILTRATION RATINGS: AIR LEAKAGE OF EXTERIOR CURTAIN WALL & STOREFRONT SYSTEMS SHALL NOT EXCEED 0.06 cfm/ft. @ STATIC AIR PRESSURE OF 6.24 psf (300 Pa) AS MEASURED BY ASTM E 283
- EXTERIOR STOREFRONT SYSTEM
  - SYSTEM SF-1: OLDCASTLE FG-3000 MULTIPLANE W/ THERMAL BREAK - 2" W x 4" D FRAME - FRAME W/ CLEAR ANODIZED FINISH, TYP. U.N.O. GLAZING FRONT SET, TYP. U.N.O.
  - STOREFRONT DOORS:
    - EXT. STOREFRONT ENTRY DOOR ALUM. / GLASS, CLEAR ANODIZED NARROW STILE DOOR W/ ALUM. FRAME W/ 1" EXTERIOR GLASS W/ 10" BOTTOM RAIL
  - AIR INFILTRATION RATINGS: AIR LEAKAGE OF EXTERIOR CURTAIN WALL & STOREFRONT SYSTEMS SHALL NOT EXCEED 0.06 cfm/ft. @ STATIC AIR PRESSURE OF 6.24 psf (300 Pa) AS MEASURED BY ASTM E 283
- EXTERIOR CURTAIN WALL 4 STOREFRONT GLAZING
  - 1" PRG-SOLARBAN VITROS COMMERCIAL INSULATING GLASS UNIT, WITH SOLARBAN 72 ON STARPHIRE GLASS AND CLEAR GLASS INTERIOR LITE. THIS ASSEMBLY PROVIDES 63% VISIBLE LIGHT TRANSMISSION (VLT) AND 0.27 SOAR HEAT GAIN COEFFICIENT (SHGC).
  - EXTERIOR GLAZING SHALL MEET THE FOLLOWING MINIMUM PERFORMANCE CRITERIA:
    - WINTER NIGHTTIME U VALUE = 0.26
    - SUMMER DAYTIME U VALUE = 0.27
    - SHADING COEFFICIENT = 0.45
    - SOLAR HEAT GAIN COEFFICIENT = 0.27
  - \* DENOTES TEMPERED GLASS PANEL



**CMA's Hyundai Winchester**  
 Addition & Alteration  
 3951 Valley Pike  
 Winchester, VA

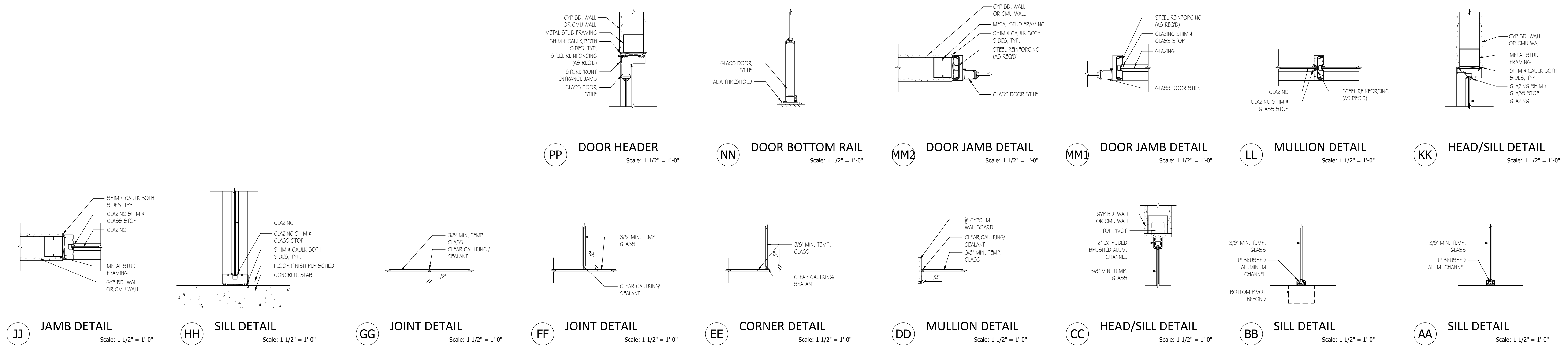
**CMA Properties**  
 100 Myers Drive  
 Charlottesville, VA 22901

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Bid Set	2023.07.27
HMA 75% Submission	2023.03.31
No. Issue / Revision	Date
Drawn By:	LH
Checked By:	JP
Plot Date:	August 2, 2023

Sheet Number  
**A-410**  
 Sheet Title  
**Exterior Glazing Details**

Project Number  
 CMA008a  
 File Name  
 A-410.dwg



INTERIOR GLAZING ELEVATIONS

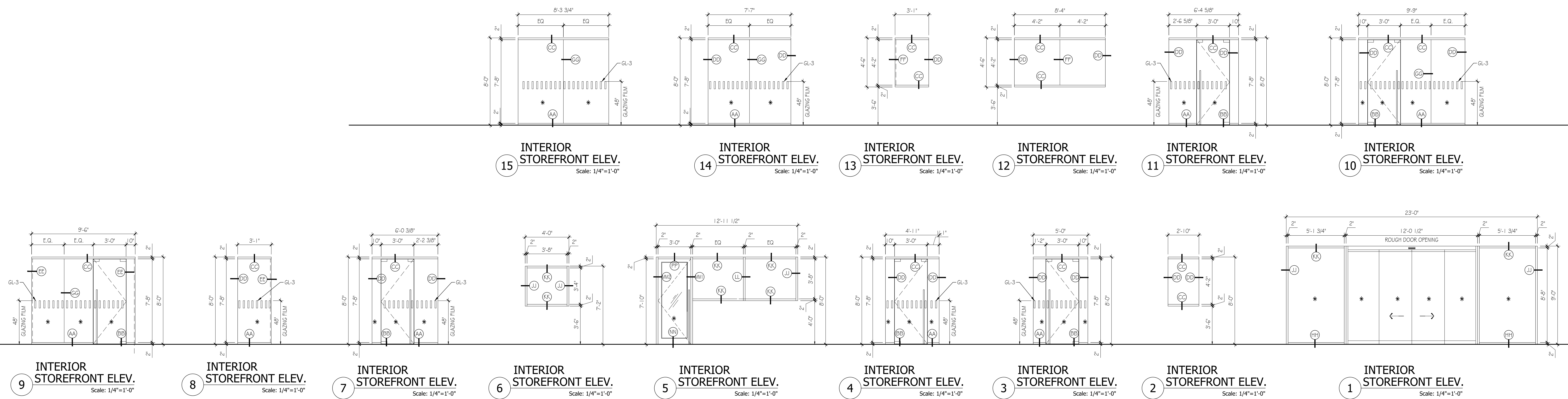
INTERIOR GLAZING NOTES

1. INTERIOR FRAMELESS GLAZING SYSTEM
  - 1.1 SYSTEM FG-2:
    - GL SCHEDULE COMPONENTS / HARDWARE:
      - 2" X 1" X 2" ANODIZED ALUMINUM U-CHANNEL (HEAD)
      - 1-3/4" X 3-5/8" SQ. ANODIZED ALUMINUM EAL (SILL)
    - 1.2 3/8" MIN. CLEAR, TEMPERED GLASS AS REQUIRED. 1/4" JOINTS BETWEEN GLASS PANELS, G.C. SHALL PROVIDE GLASS THICKNESS PER GANA REQUIREMENTS.
    - 1.3 INTERIOR MONOLITHIC GLASS DOORS:
      - 1.3.1 1-3/4" X 3-5/8" SQ. ANODIZED ALUMINUM RAIL (SILL) AND COMMERCIAL PATCH HARDWARE (TOP), BRUSHED ALUMINUM FINISH, 1301 BY BLUMCRAFT, U.N.O. SHALL PROVIDE GLASS THICKNESS PER GANA REQUIREMENTS.
      - 1.4 \* DENOTES TEMPERED GLASS PANEL
  2. PROVIDE GLASS VINYL DECAL SAFETY ON INTERIOR GLASS, U.N.O.
    - 2.1 1" X 3" RECTANGLES SPACED EQUIDISTANT APART 12" O.C. INSTALL AS SPECIFIED IN GLAZING ELEVATIONS.
    - 2.2 VINYL SPEC. 3M PROTECTED CRYSAL: 772556-324

I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Virginia, license number: 0403014019, expiration date: December 31, 2023.

CMA Properties

100 Myers Drive  
Charlottesville, VA 22901

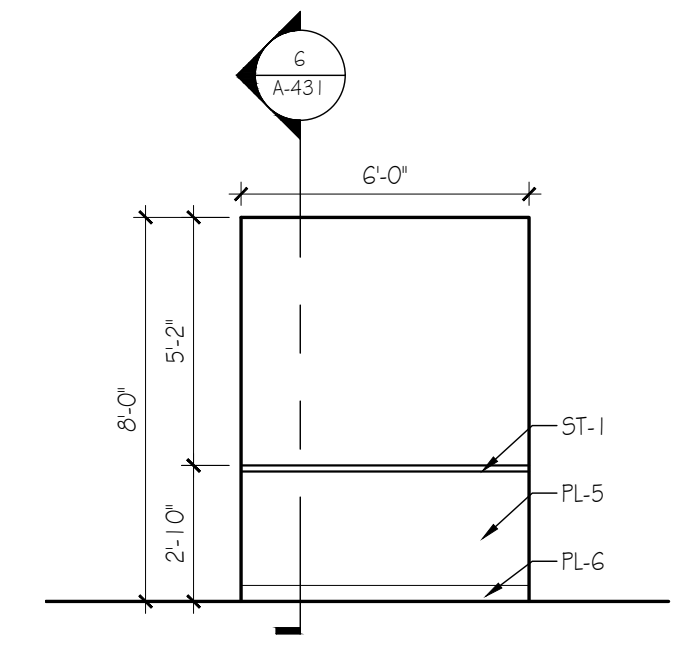


Bid Set	2023.07.27
HMA 75% Submission	2023.03.31
No. Issue / Revision	Date
Drawn By:	LH
Checked By:	JP
Plot Date:	August 2, 2023

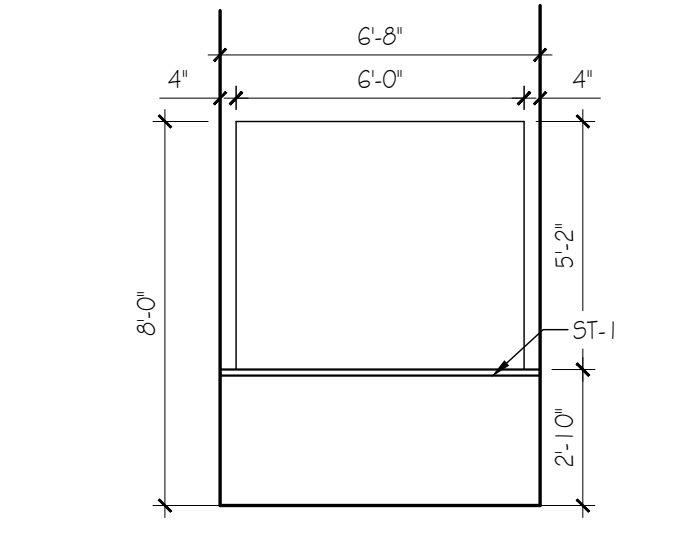
Sheet Number  
**A-420**  
Sheet Title  
**Interior Glazing Details**

Project Number	File Name
CMA008a	A-420.dwg

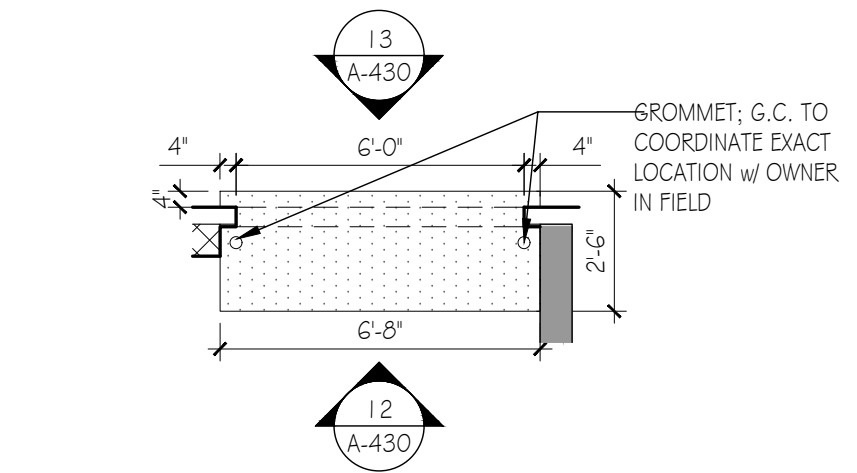
**RETAIL PARTS COUNTER #119**



**13 MILLWORK ELEVATION**  
Scale: 1/4"=1'-0"

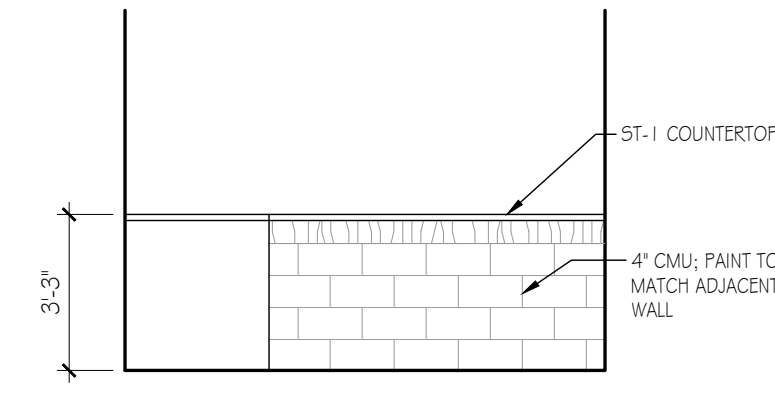


**12 MILLWORK ELEVATION**  
Scale: 1/4"=1'-0"

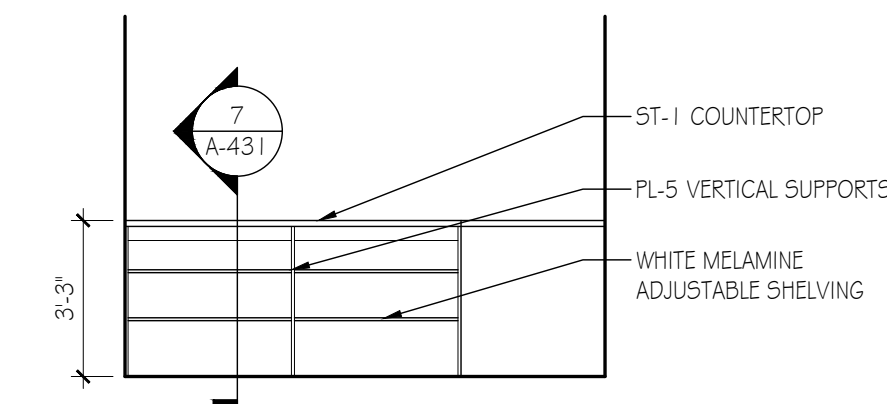


**11 MILLWORK PLAN**  
Scale: 1/4"=1'-0"

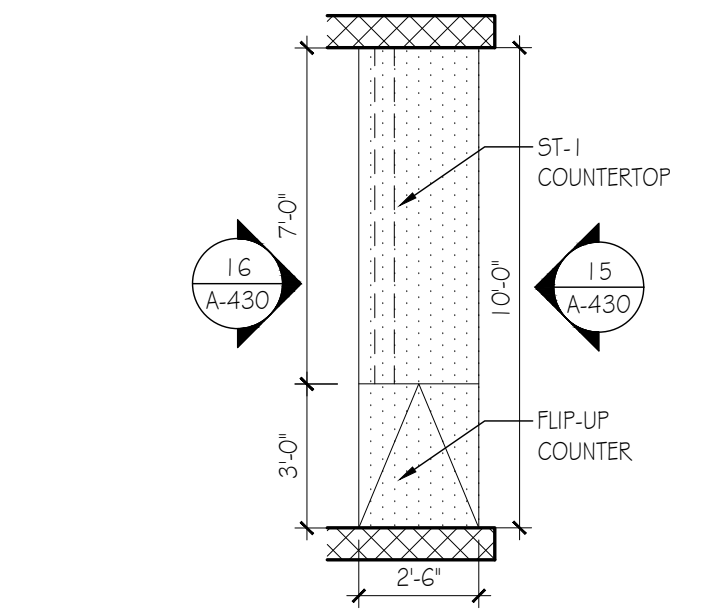
**TECH PARTS COUNTER #124**



**16 MILLWORK ELEVATION**  
Scale: 1/4"=1'-0"

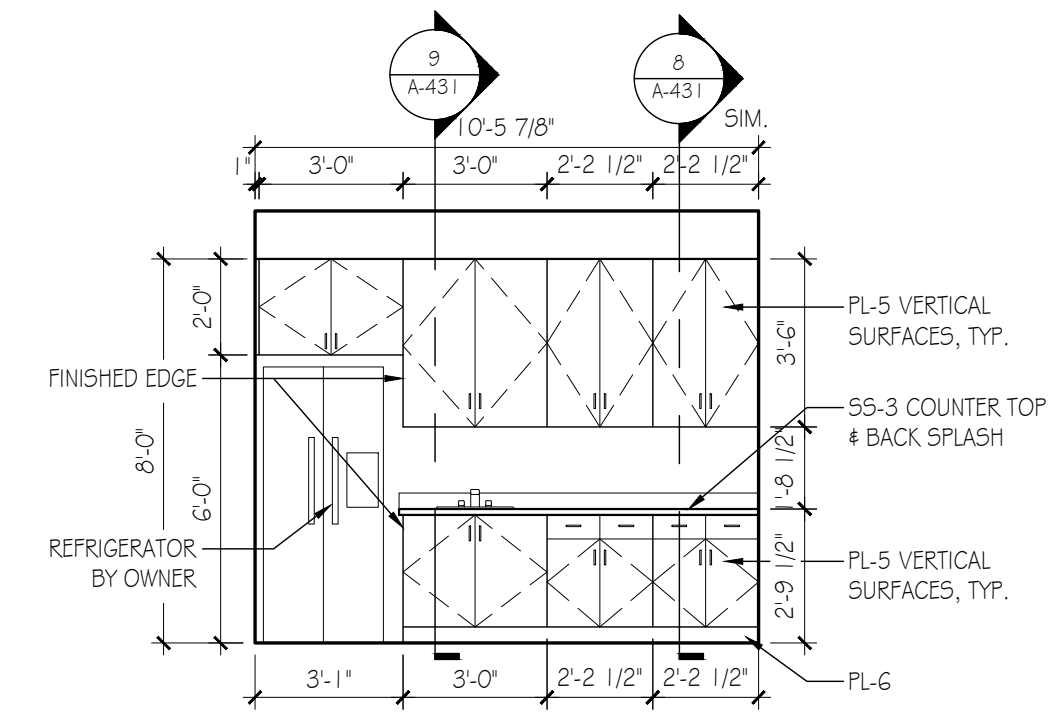


**15 MILLWORK ELEVATION**  
Scale: 1/4"=1'-0"

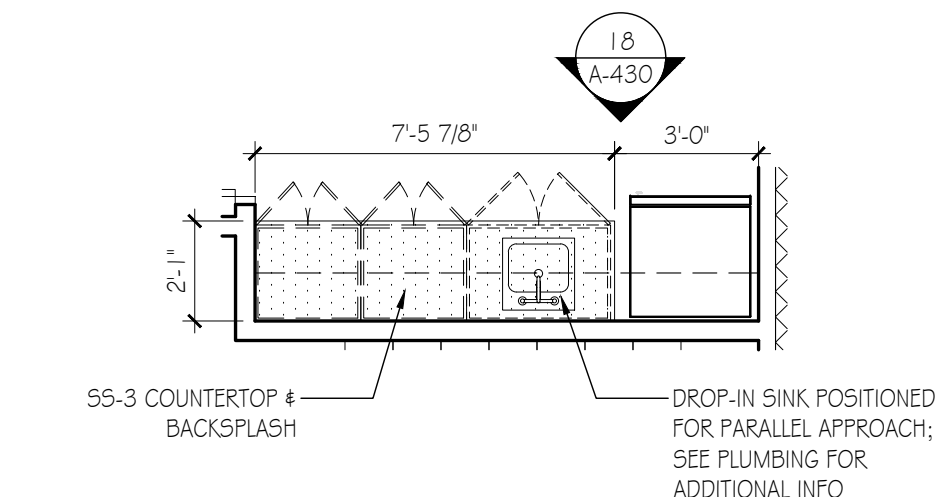


**14 MILLWORK PLAN**  
Scale: 1/4"=1'-0"

**TECH BREAK ROOM #129**

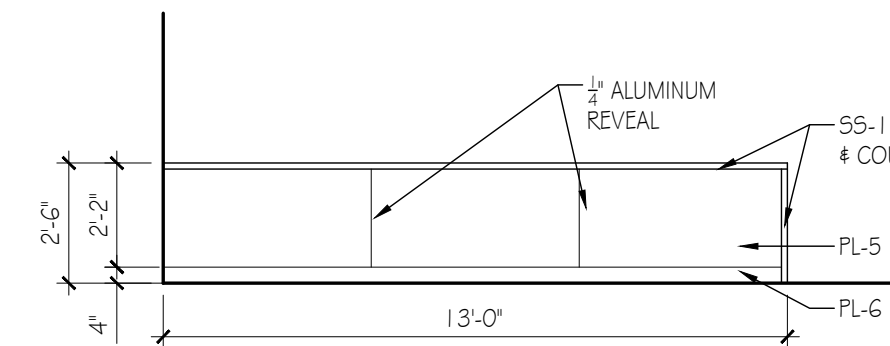


**18 MILLWORK ELEVATION**  
Scale: 1/4"=1'-0"

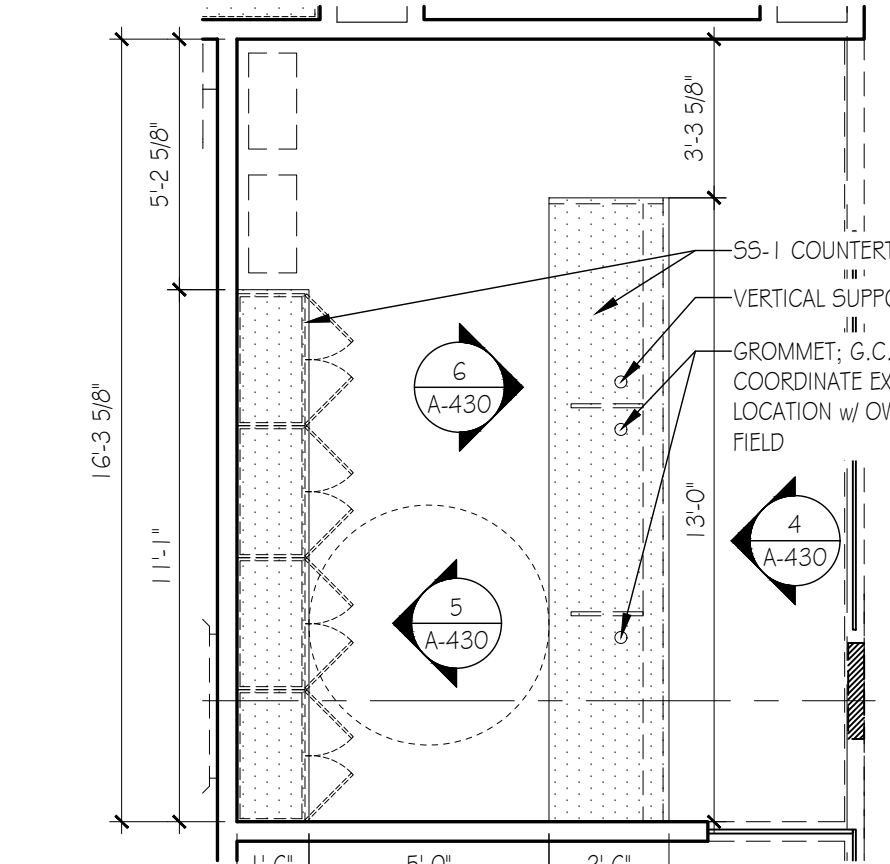


**17 MILLWORK PLAN**  
Scale: 1/4"=1'-0"

**SALES MANAGERS #110**

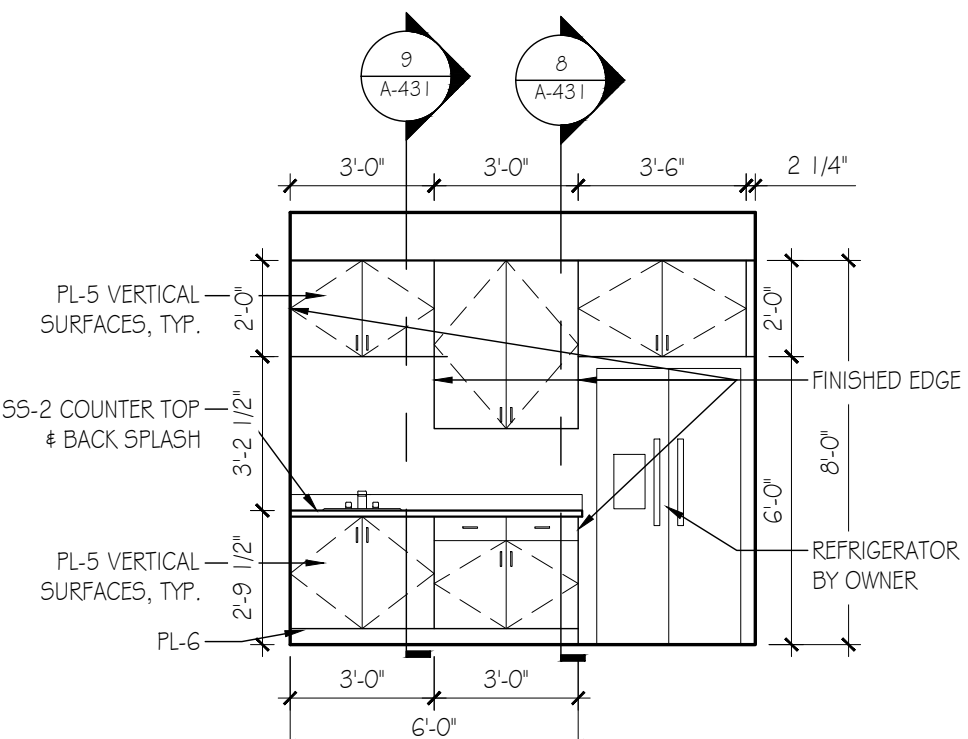


**4 MILLWORK ELEVATION**  
Scale: 1/4"=1'-0"

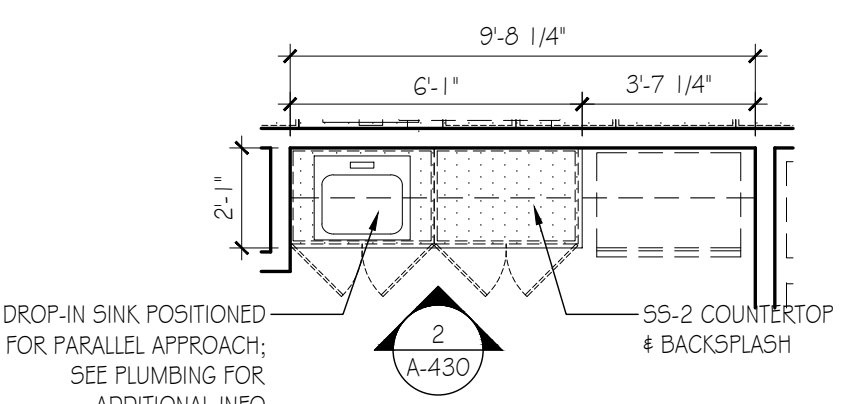


**3 MILLWORK PLAN**  
Scale: 1/4"=1'-0"

**CONFERENCE / BREAKROOM #108**

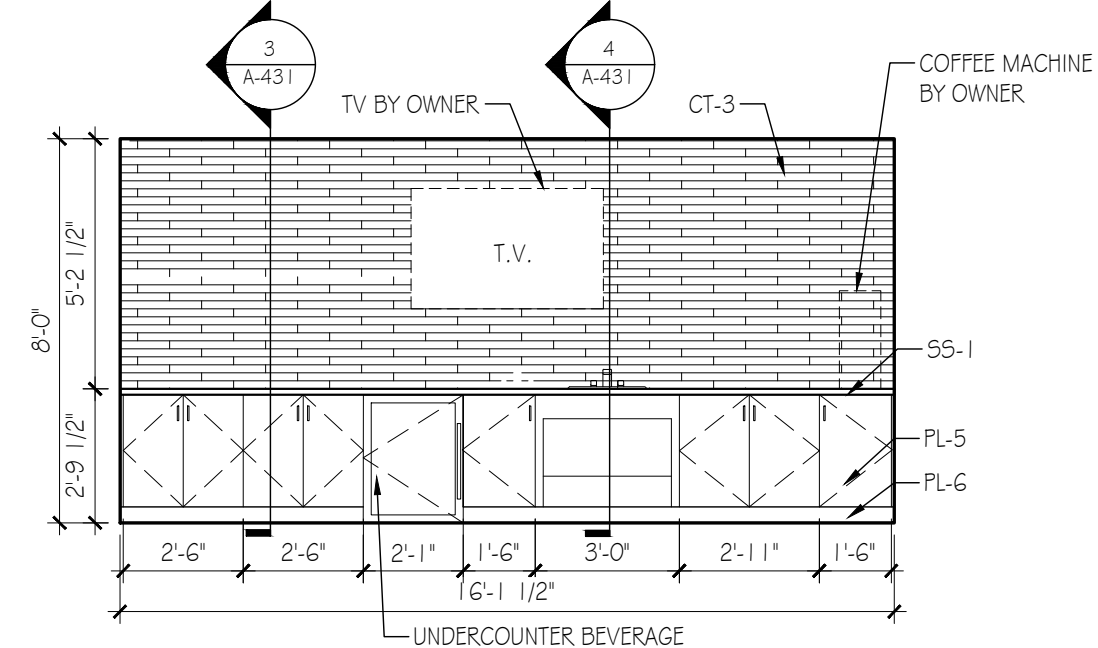


**2 MILLWORK ELEVATION**  
Scale: 1/4"=1'-0"

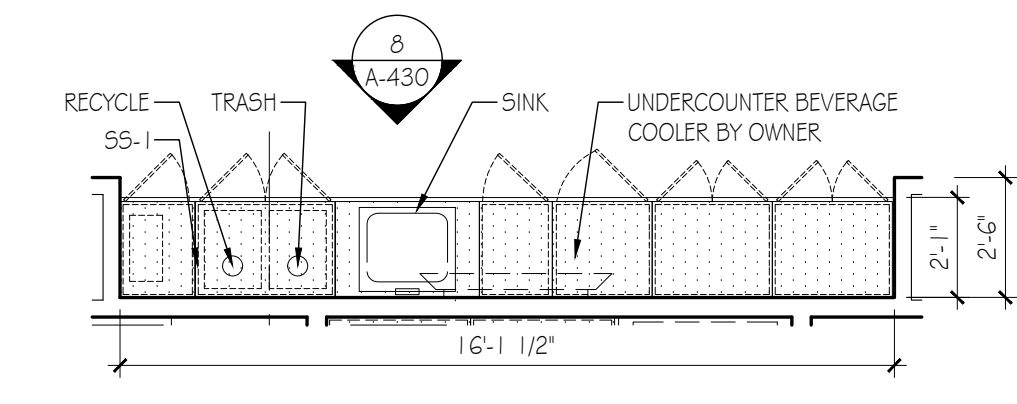


**1 MILLWORK PLAN**  
Scale: 1/4"=1'-0"

**CUSTOMER LOUNGE / CAFE #112**

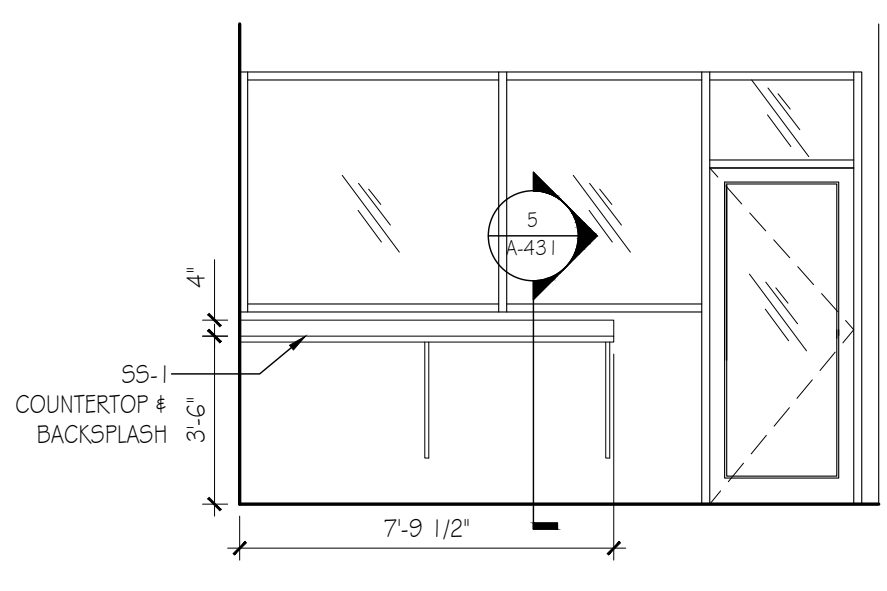


**8 MILLWORK ELEVATION**  
Scale: 1/4"=1'-0"

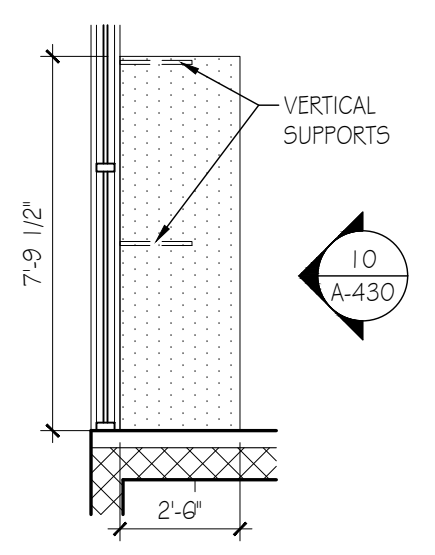


**7 MILLWORK PLAN**  
Scale: 1/4"=1'-0"

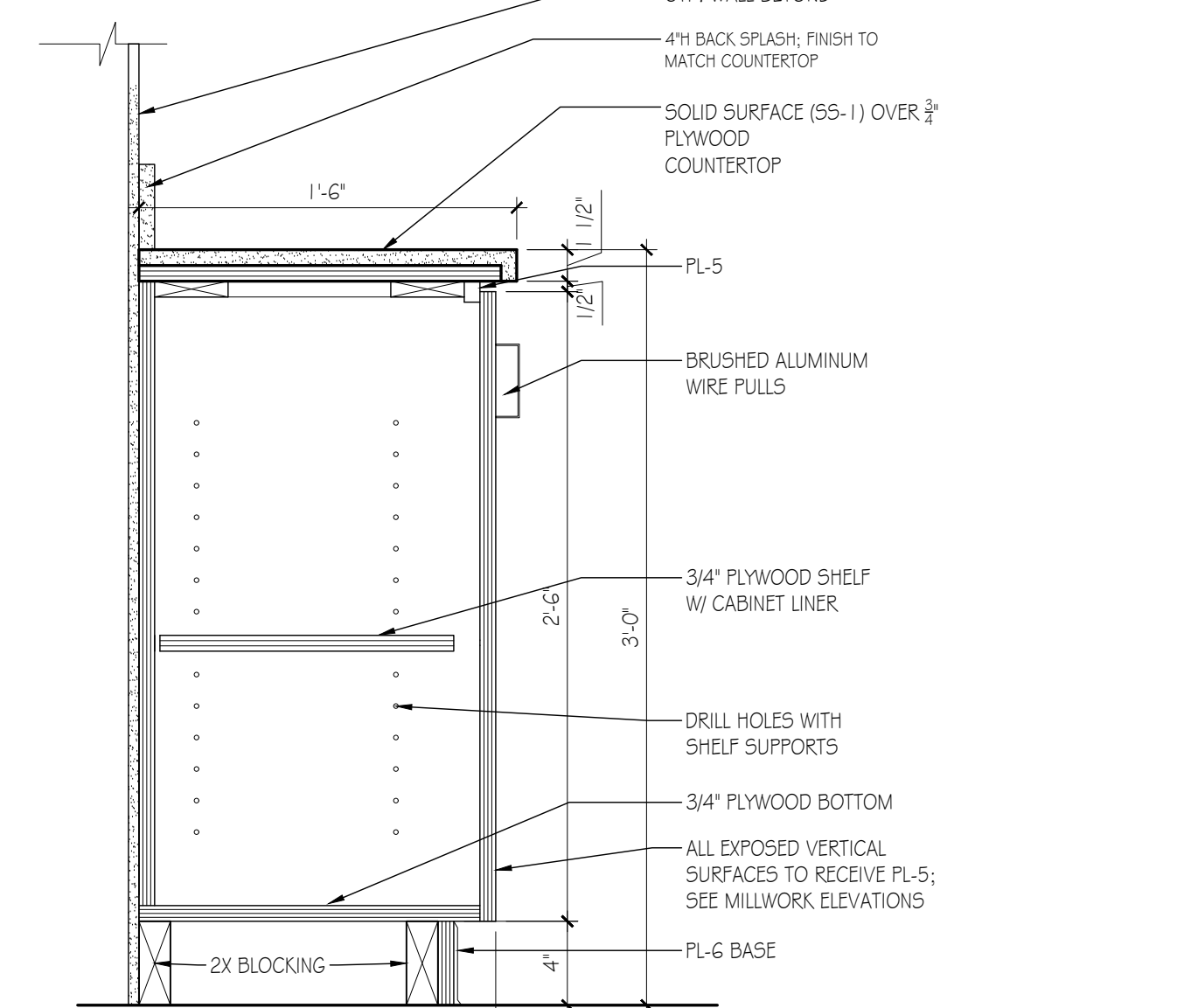
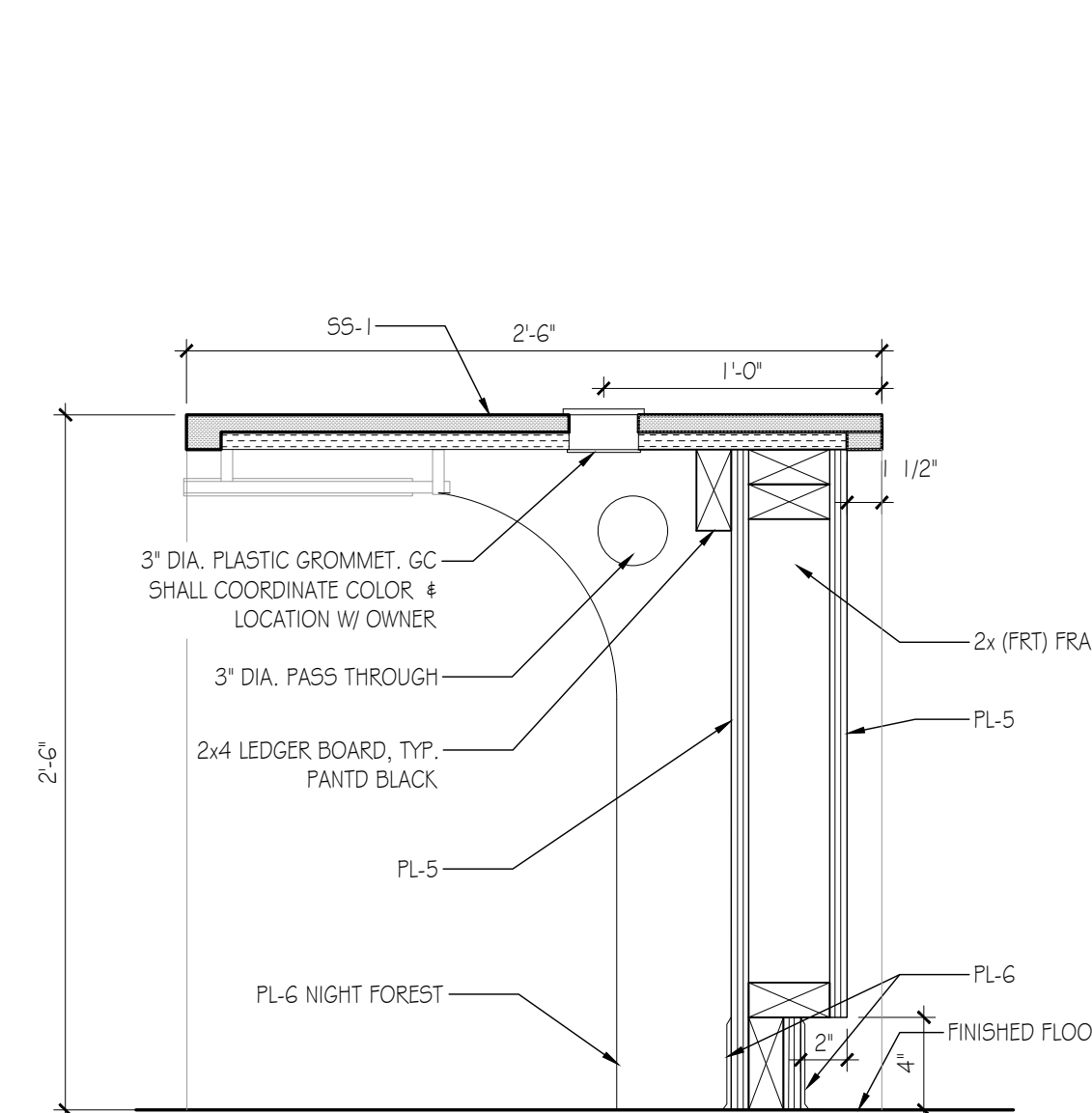
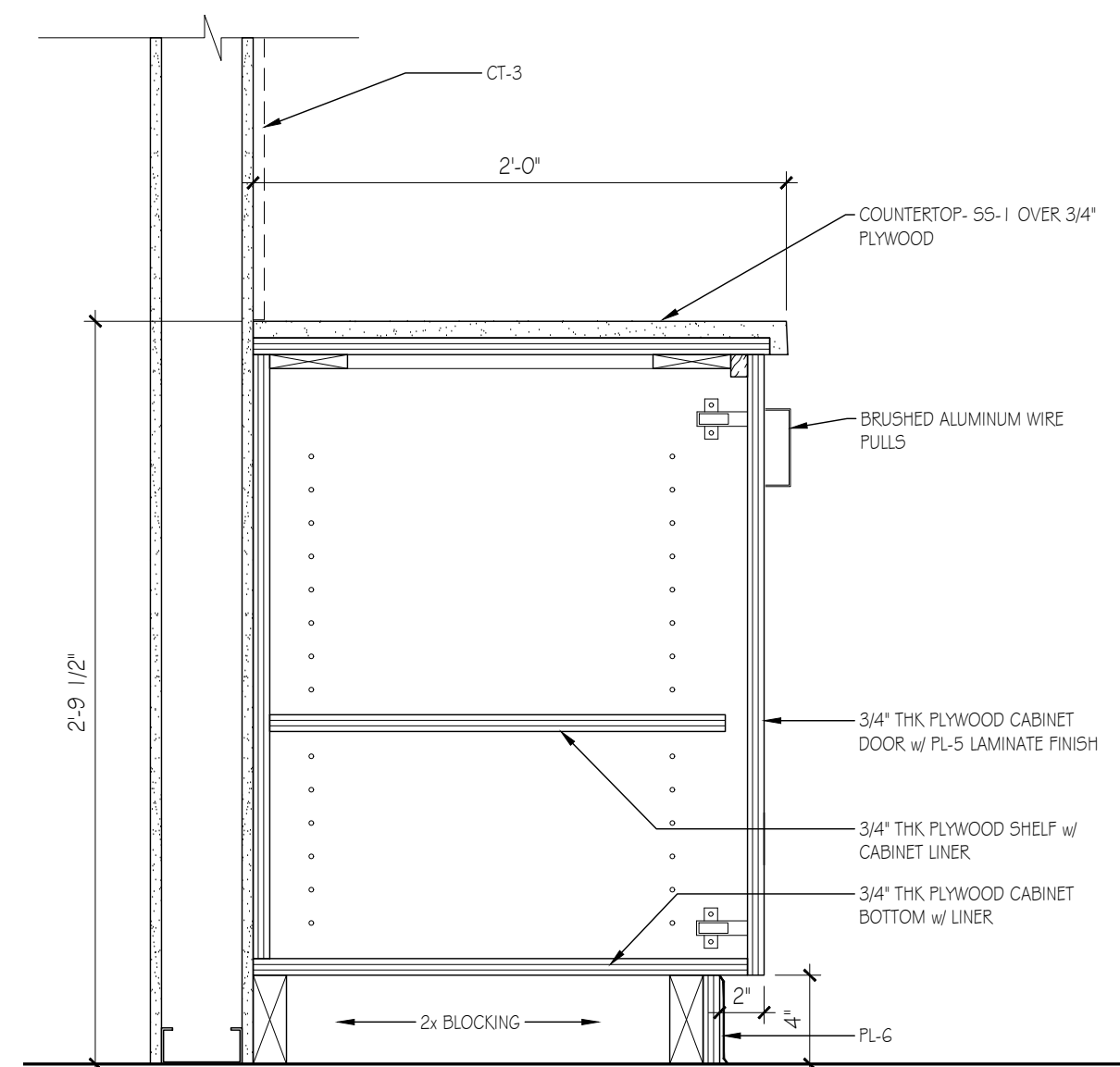
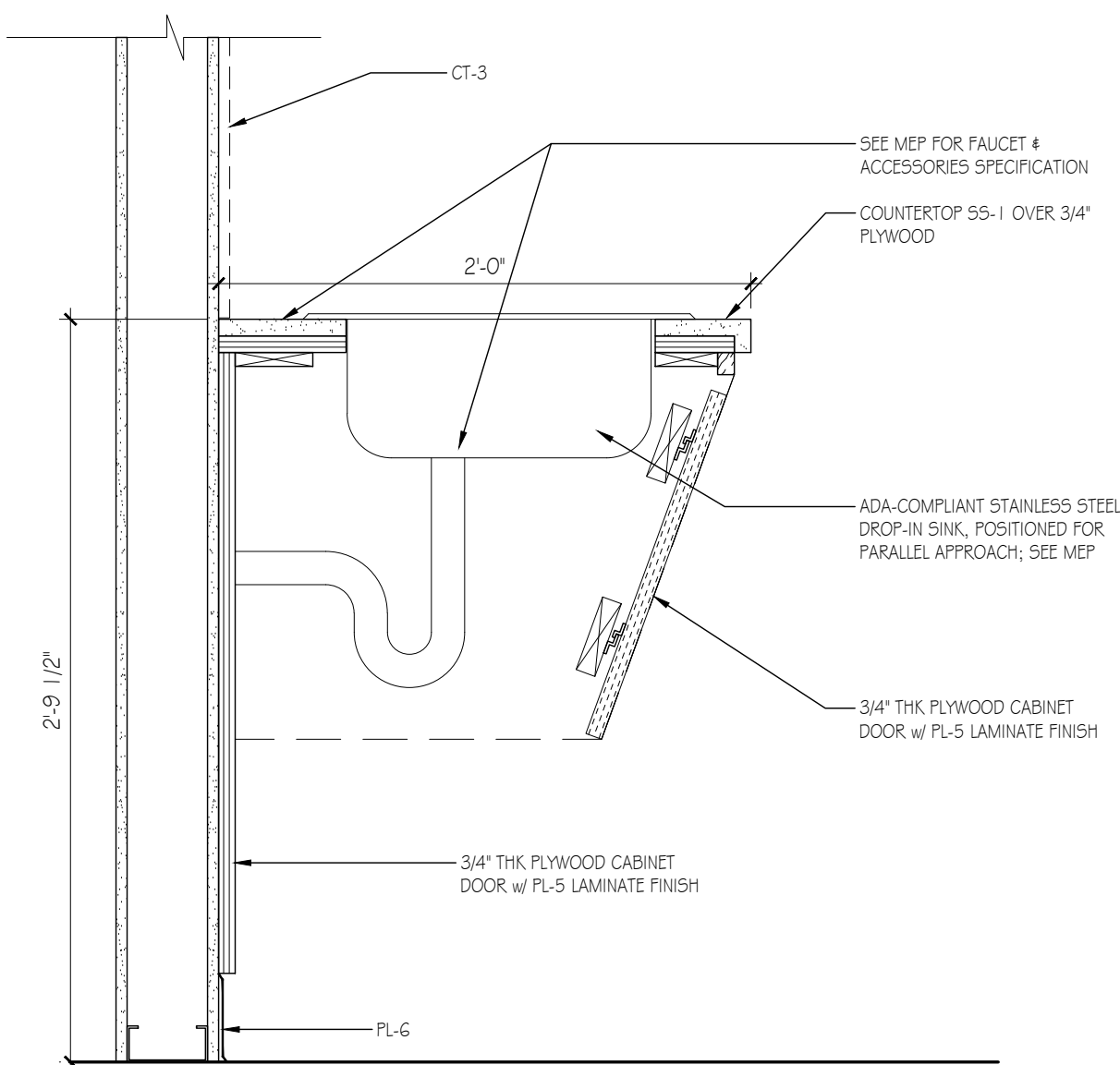
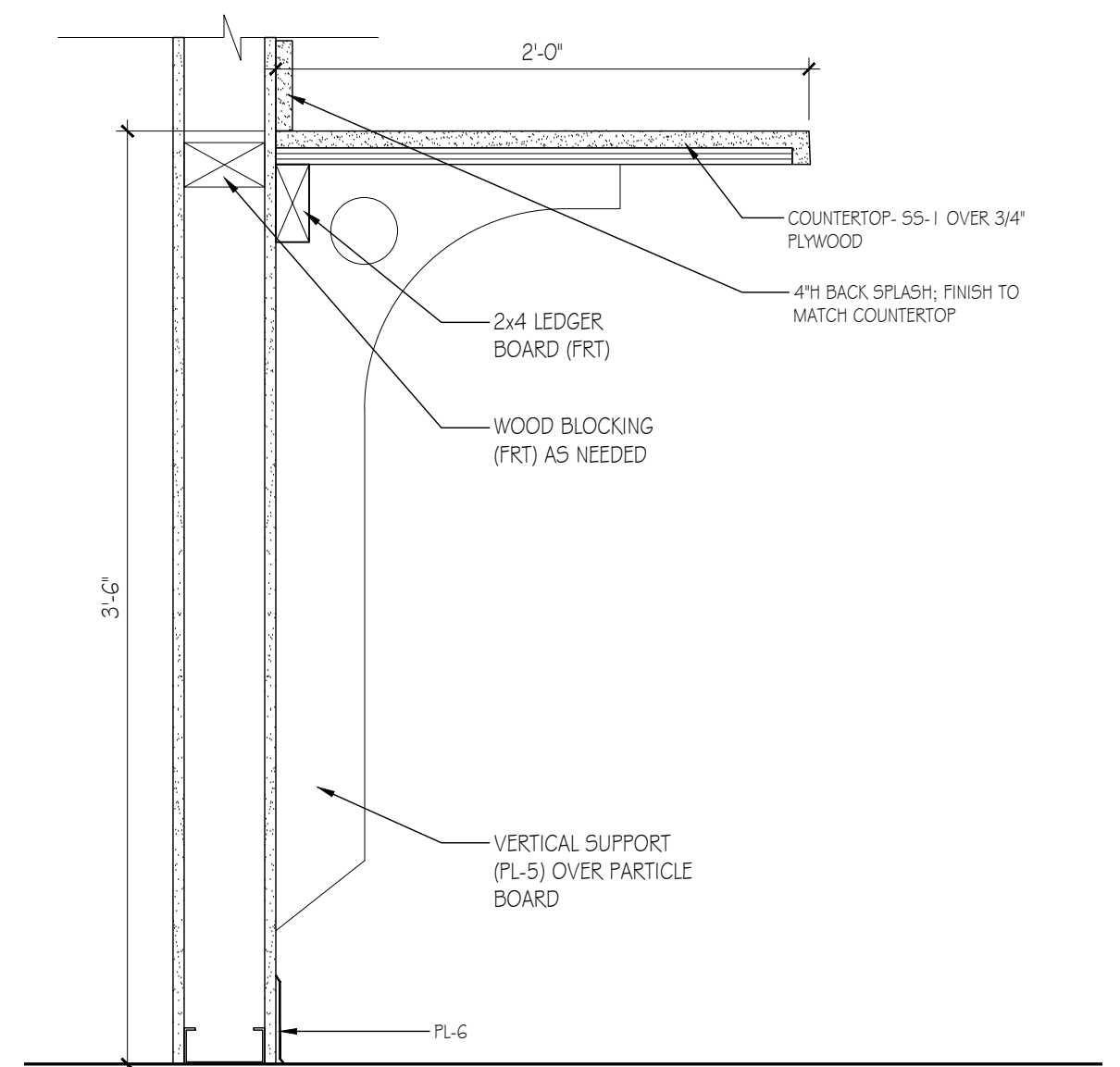
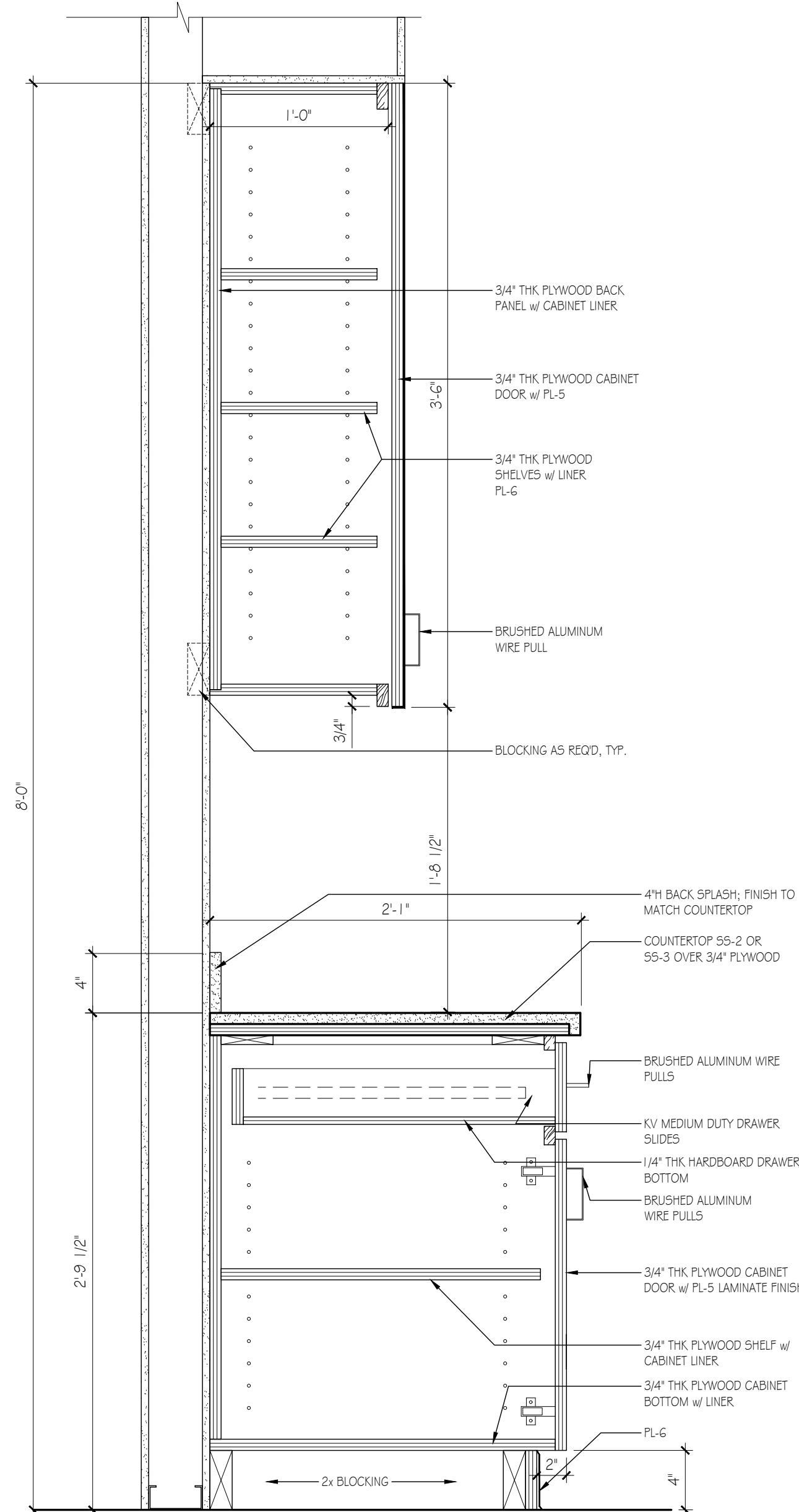
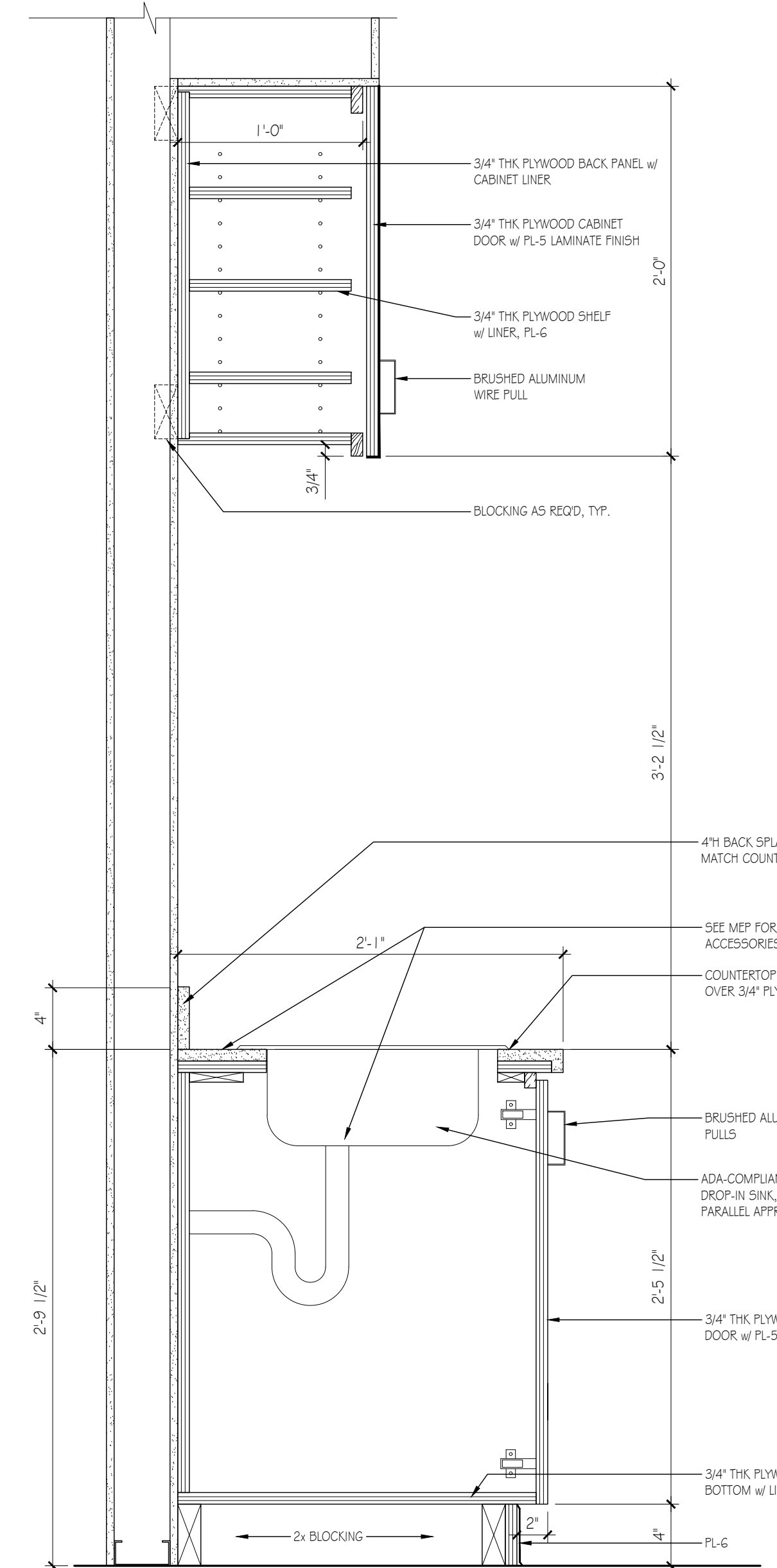
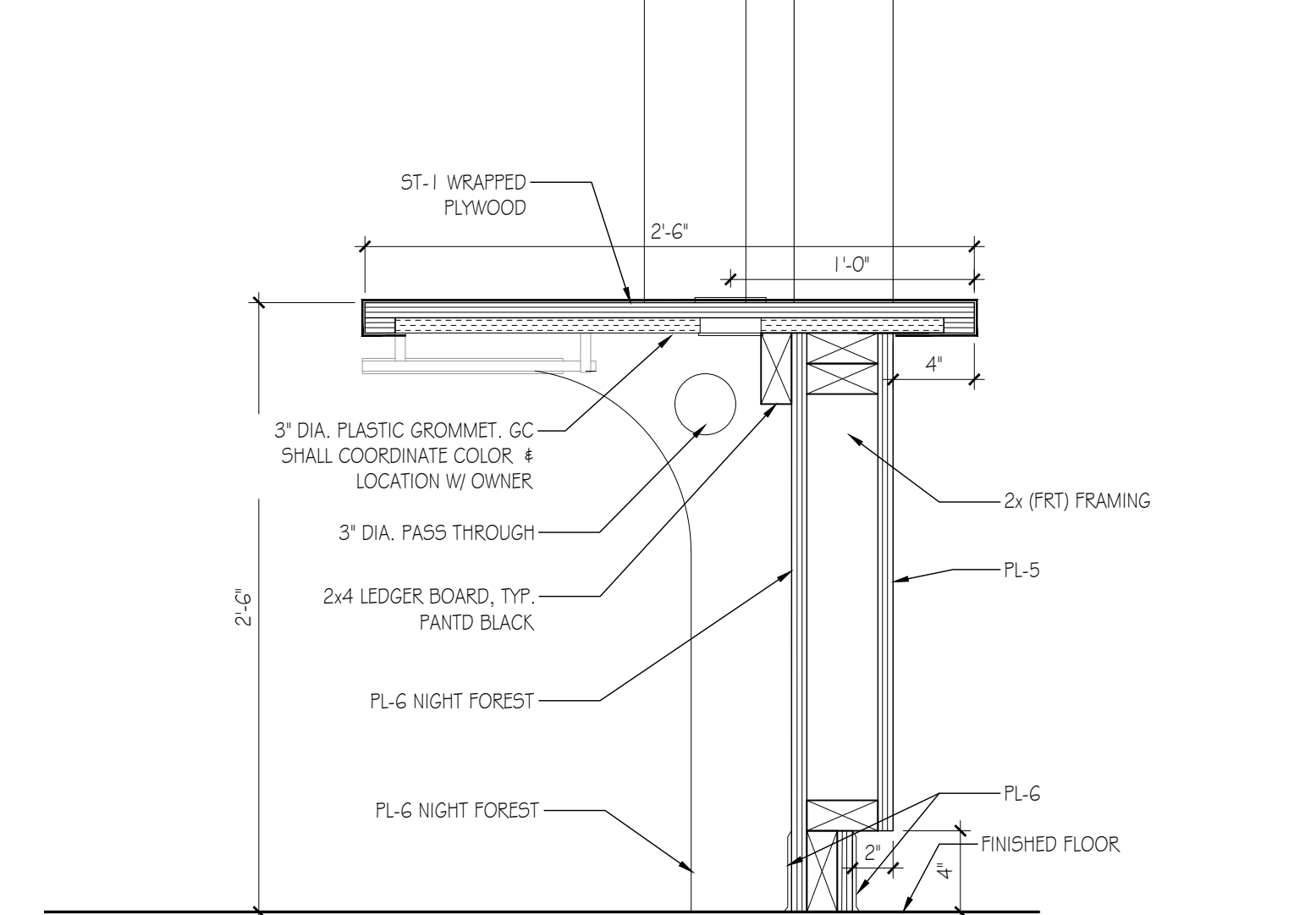
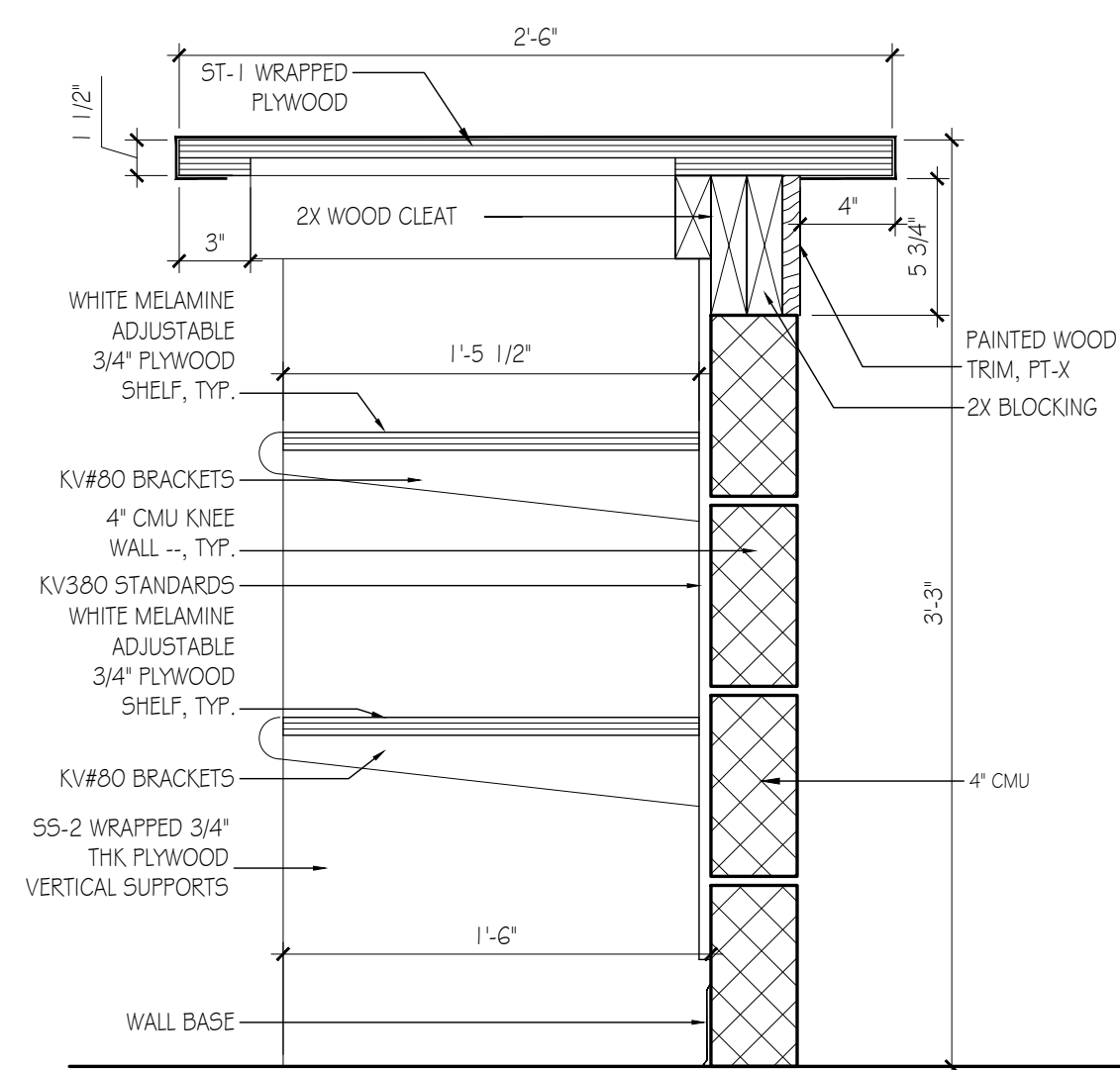
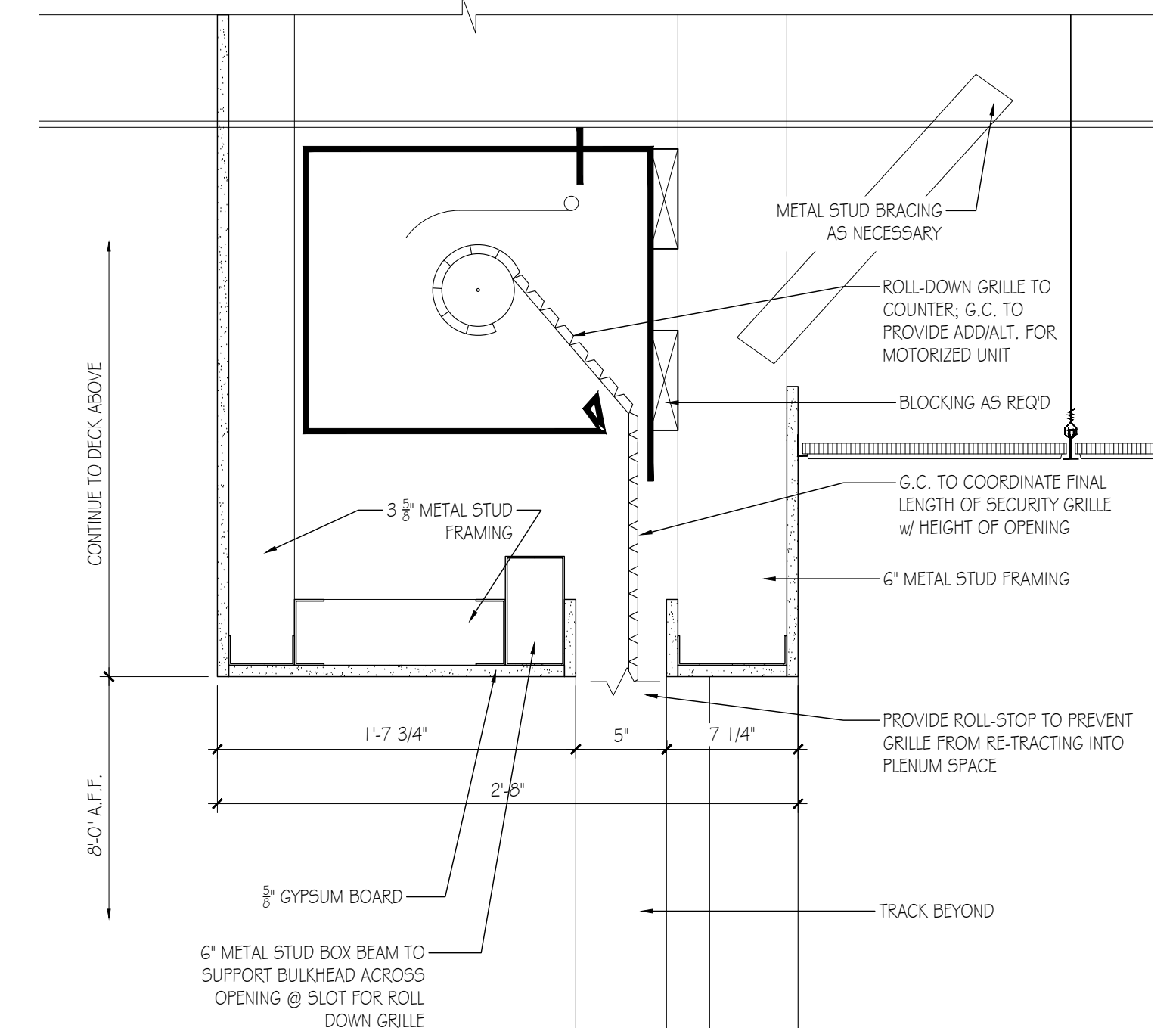
**CUSTOMER LOUNGE #118**



**10 MILLWORK ELEVATION**  
Scale: 1/4"=1'-0"



**9 MILLWORK PLAN**  
Scale: 1/4"=1'-0"



**9 MILLWORK SECTION**  
Scale: 1 1/2"=1'-0"

**8 MILLWORK SECTION**  
Scale: 1 1/2"=1'-0"

**7 MILLWORK SECTION**  
Scale: 1 1/2"=1'-0"

**6 MILLWORK SECTION**  
Scale: 1 1/2"=1'-0"

**5 MILLWORK SECTION**  
Scale: 1 1/2"=1'-0"

**4 MILLWORK SECTION**  
Scale: 1 1/2"=1'-0"

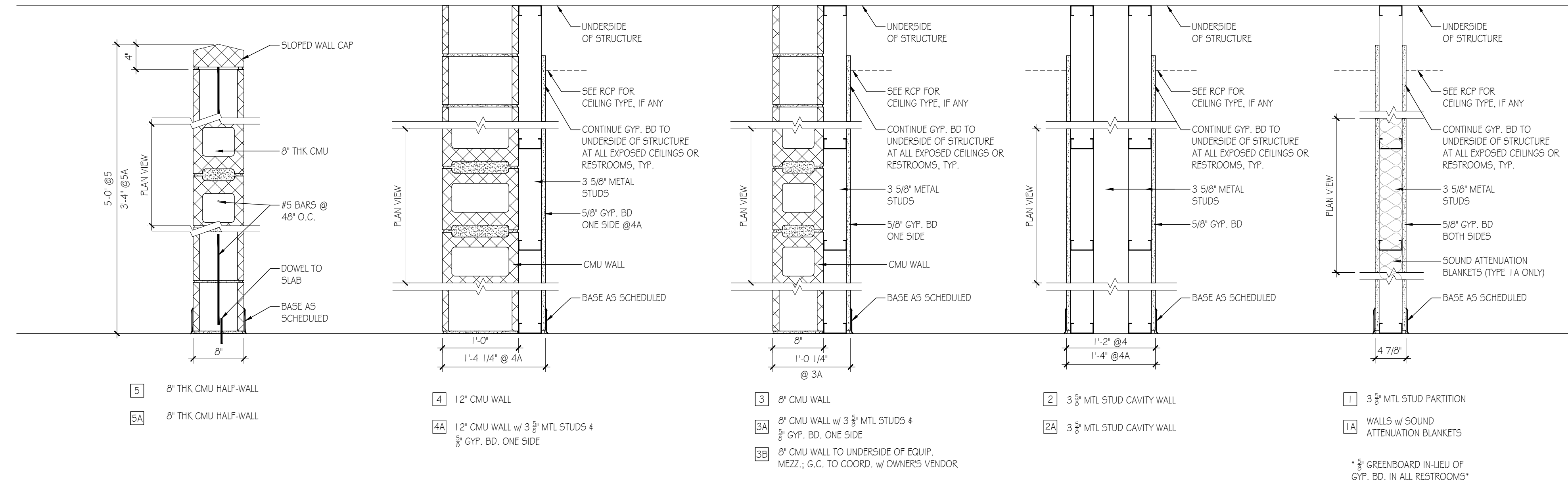
**3 MILLWORK SECTION**  
Scale: 1 1/2"=1'-0"

**2 MILLWORK SECTION**  
Scale: 1 1/2"=1'-0"

**1 MILLWORK SECTION**  
Scale: 1 1/2"=1'-0"

Bid Set	2023.07.27
HMA 75% Submission	2023.03.31
No. Issue / Revision	Date
Drawn By:	LH
Checked By:	JP
Plot Date:	August 2, 2023

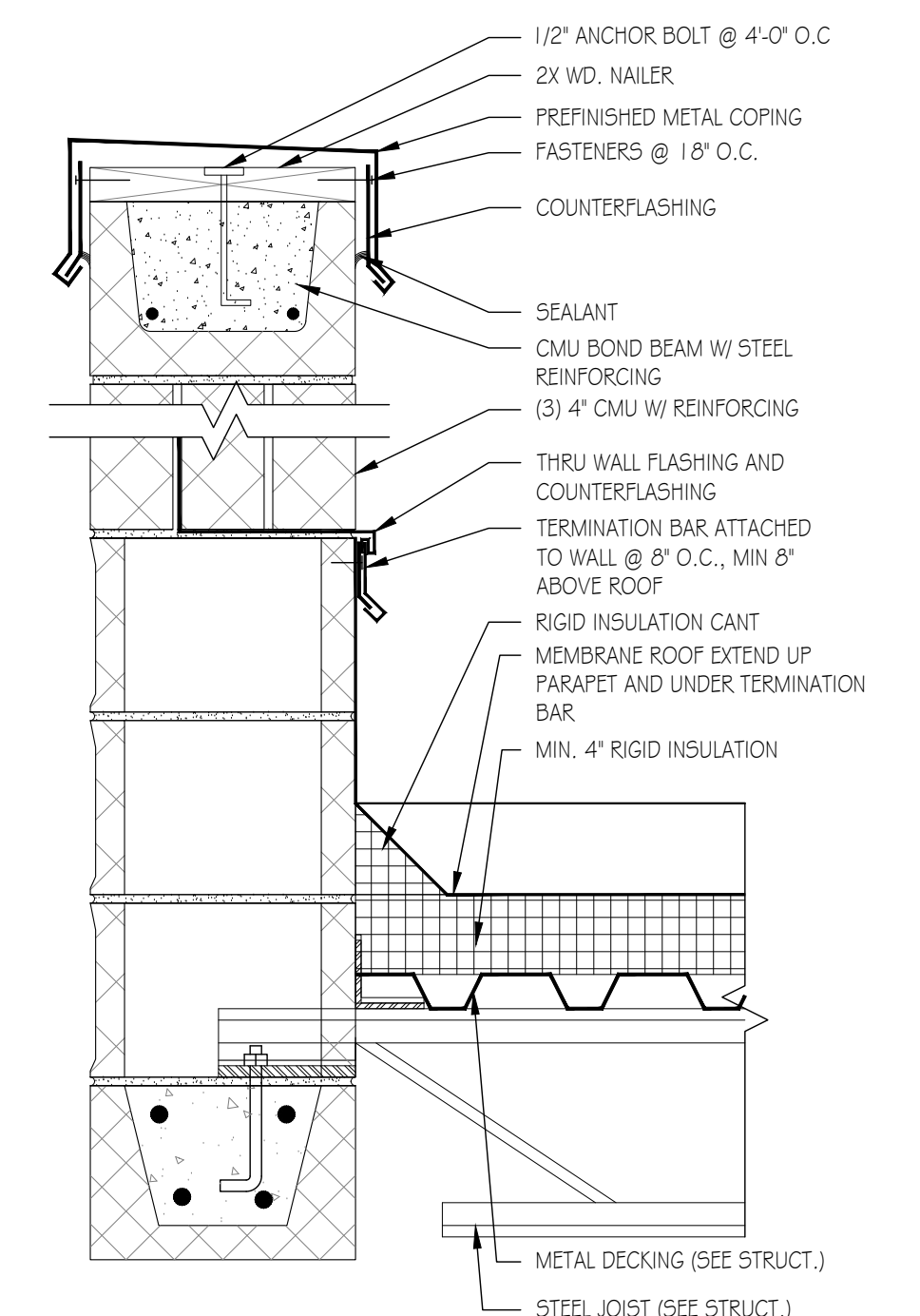
Sheet Number  
**A-431**  
Sheet Title  
**Millwork Sections**



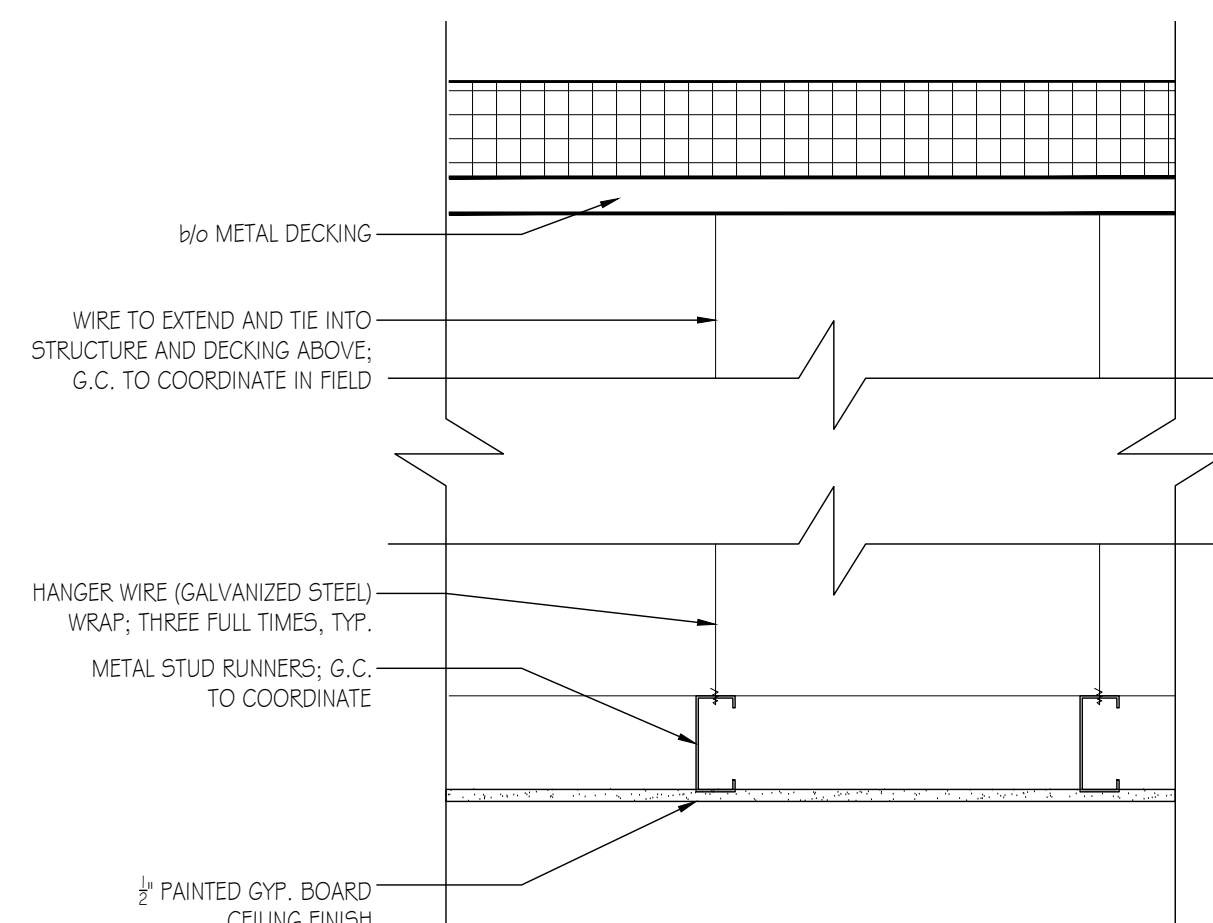
**1** 8" THK CMU HALF-WALL  
**2** 12" CMU WALL  
**3** 8" CMU WALL  
**4** 3/8" MTL STUD CAVITY WALL  
**5** 3/8" MTL STUD PARTITION

\* 3/8" GREENBOARD IN LIEU OF GYP. BD. IN ALL RESTROOMS\*

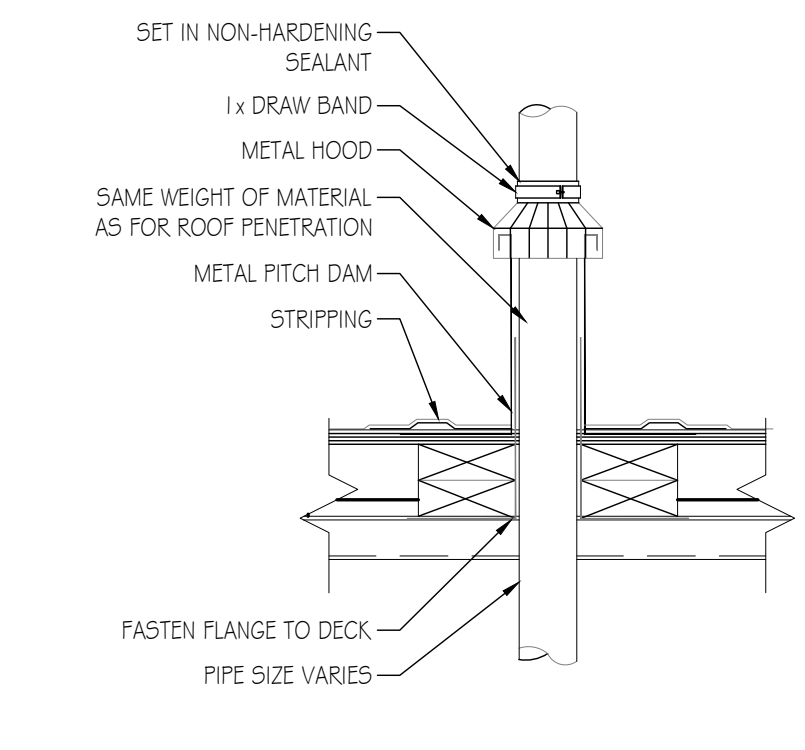
TYPICAL DETAILS



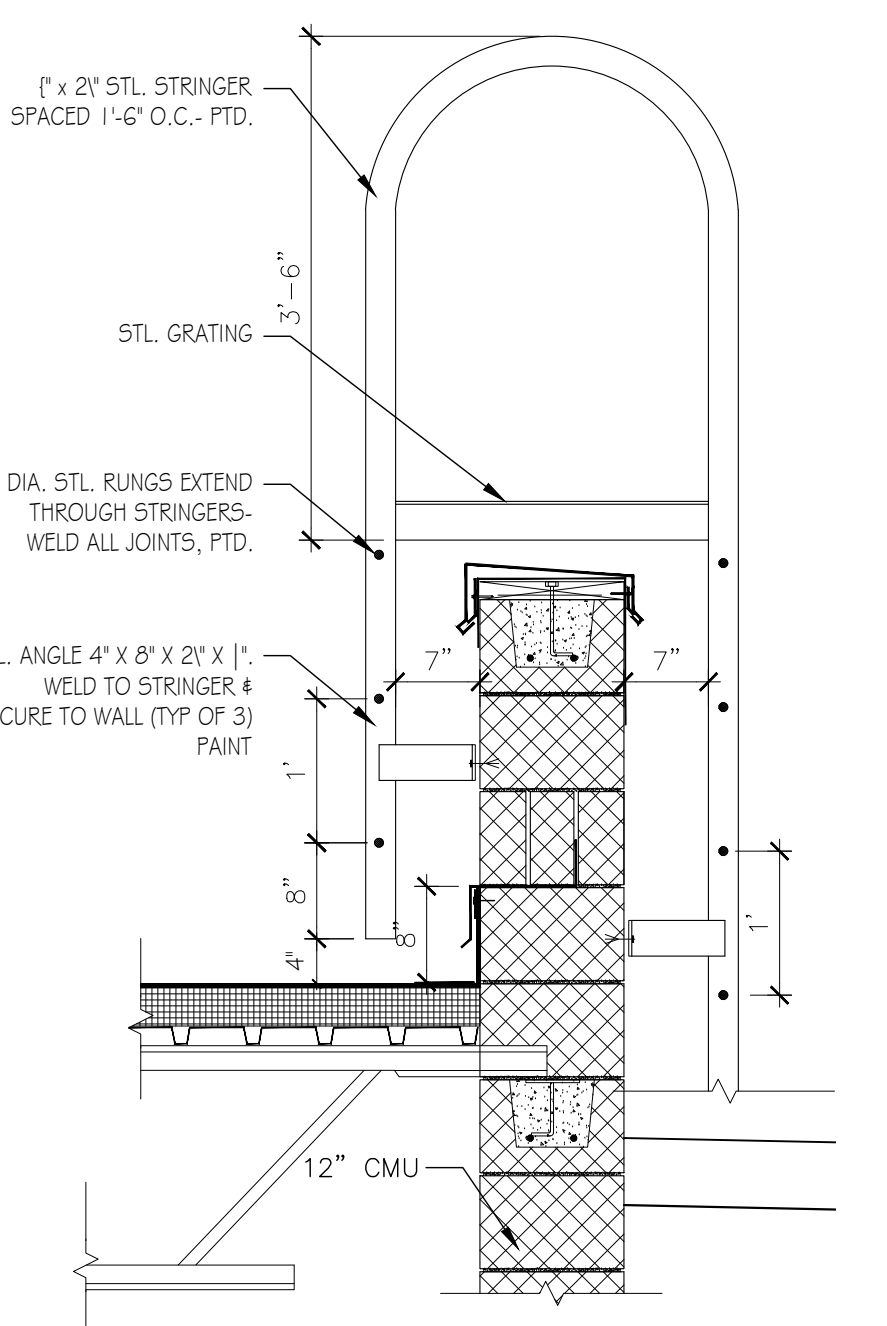
**Q** TYP. PARAPET FLASHING DETAIL  
 Scale: 1" = 1'-0"



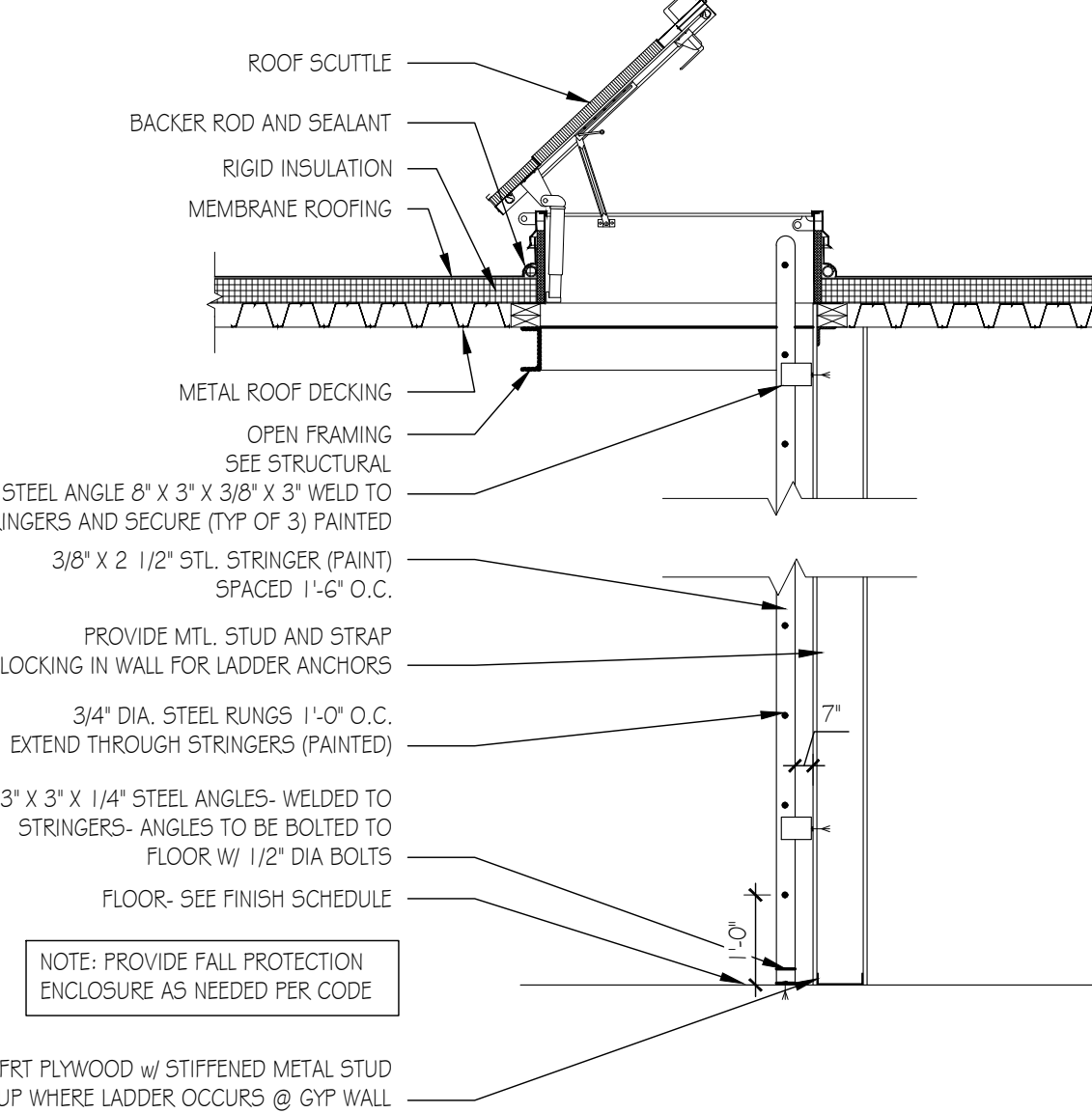
**P** TYP. SUSPENDED CEILING  
 Scale: 1 1/2" = 1'-0"



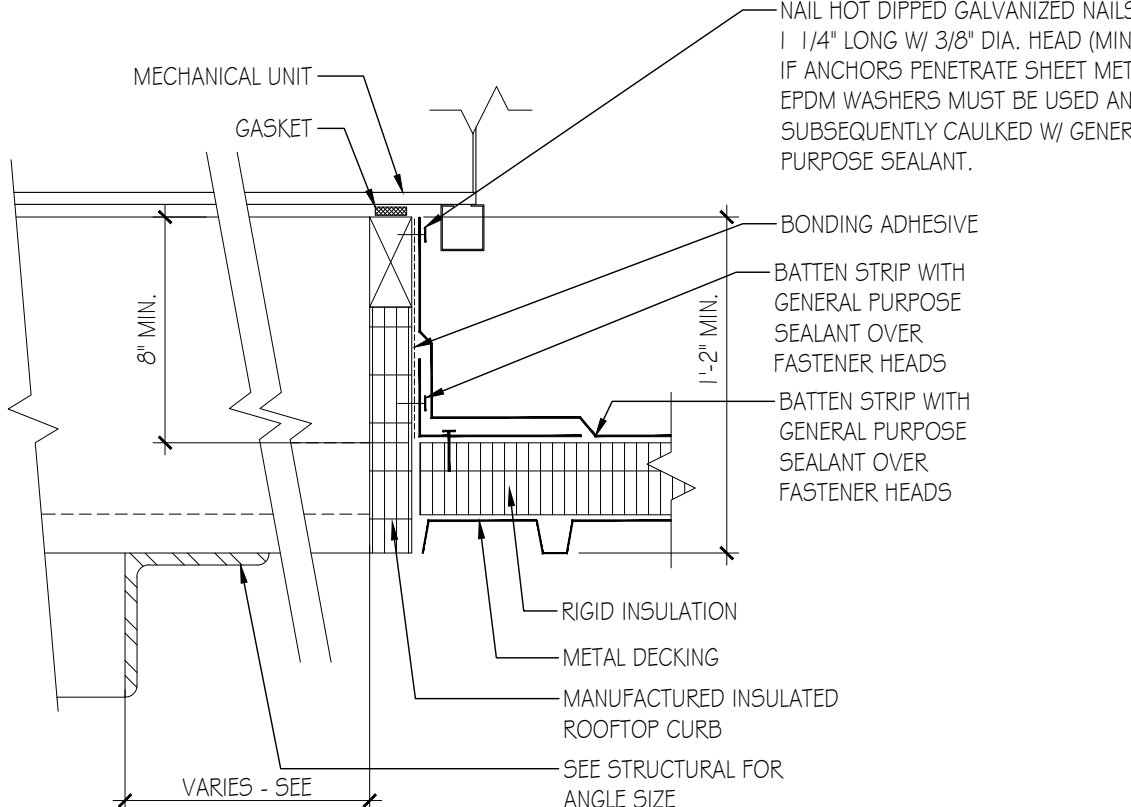
**N** TYP. PIPE FLASHING DETAIL  
 Scale: 1 1/2" = 1'-0"



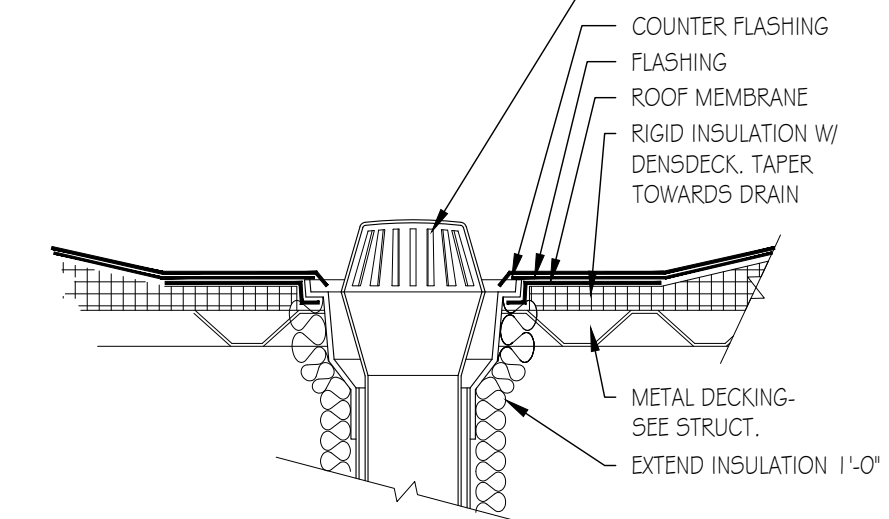
**M** TYP. ROOF LADDER  
 Scale: 3/4" = 1'-0"



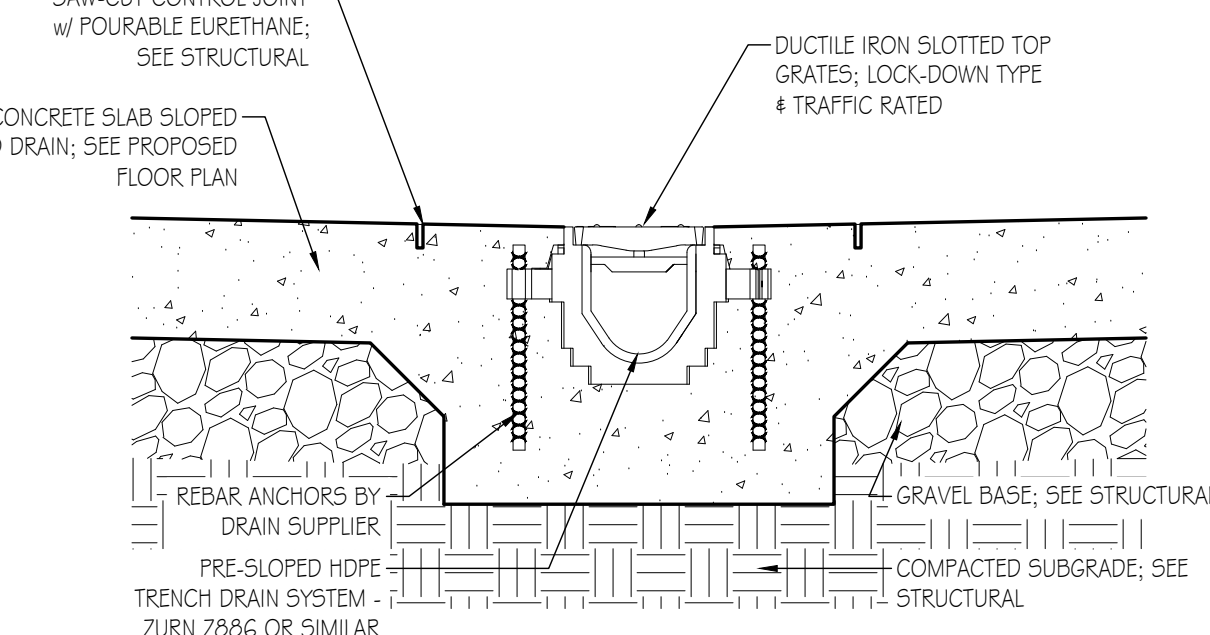
**L** TYP. ROOF HATCH DETAIL  
 Scale: 1/2" = 1'-0"



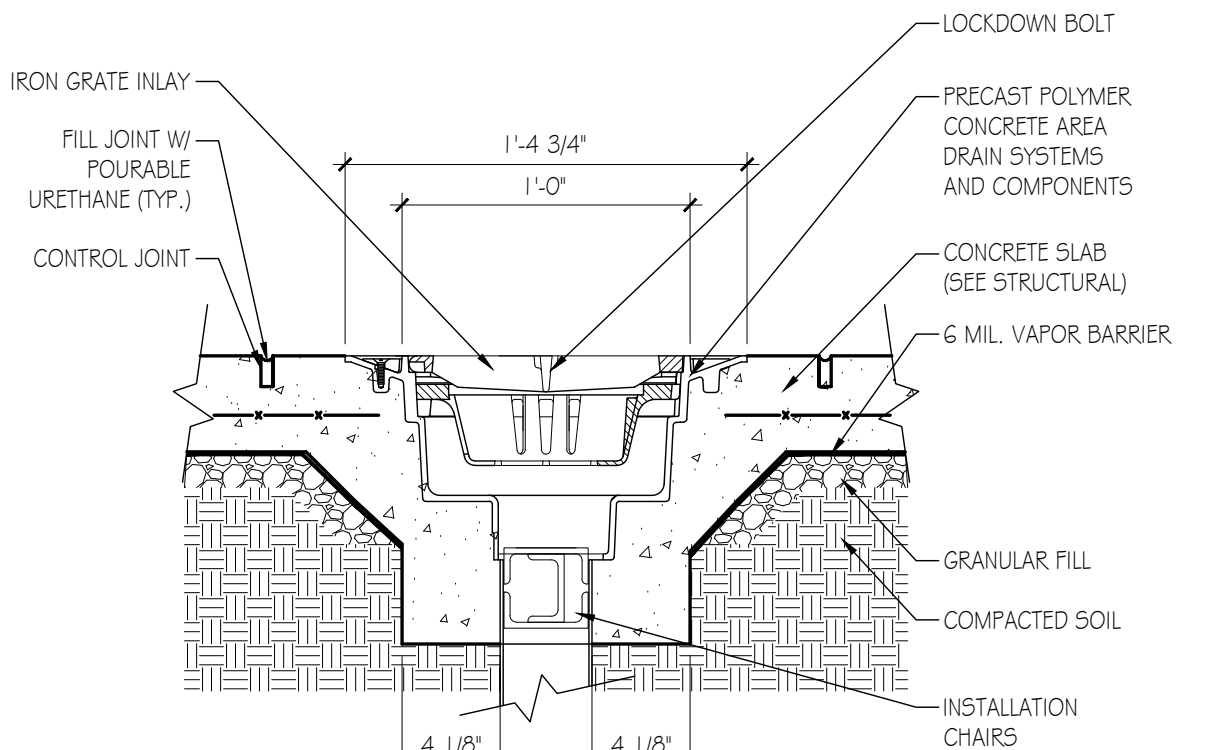
**K** TYP. ROOF CURB DETAIL  
 Scale: 1 1/2" = 1'-0"



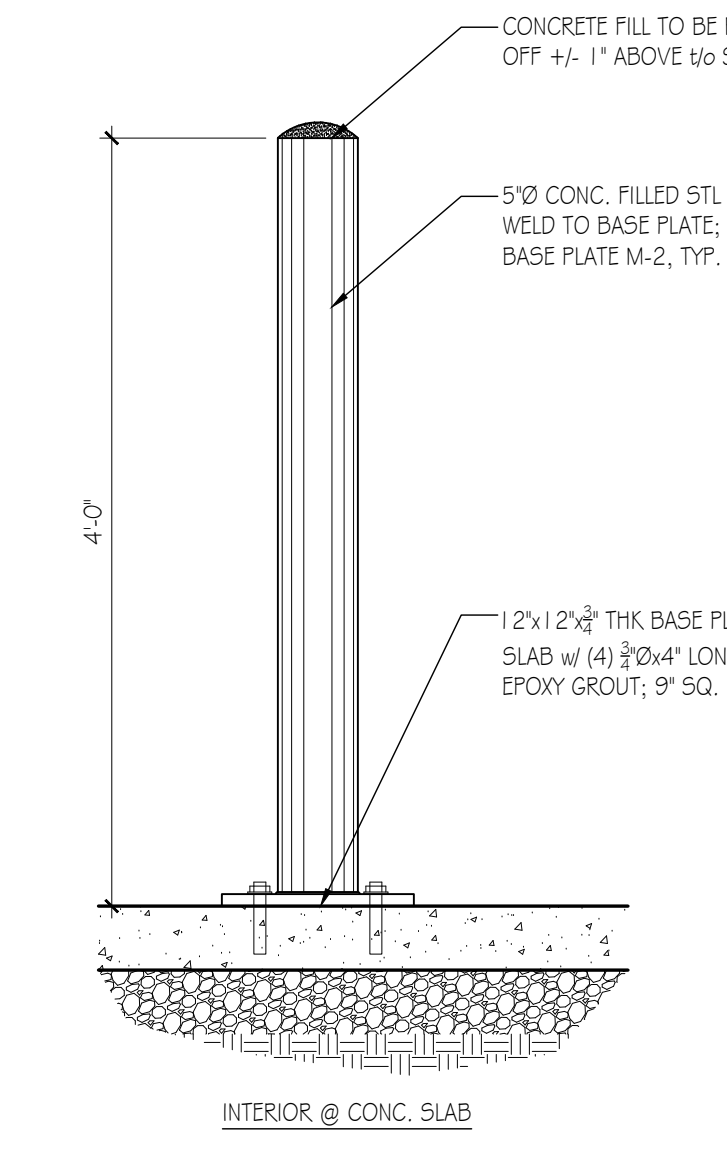
**J** TYP. ROOF DRAIN DETAIL  
 Scale: 1 1/2" = 1'-0"



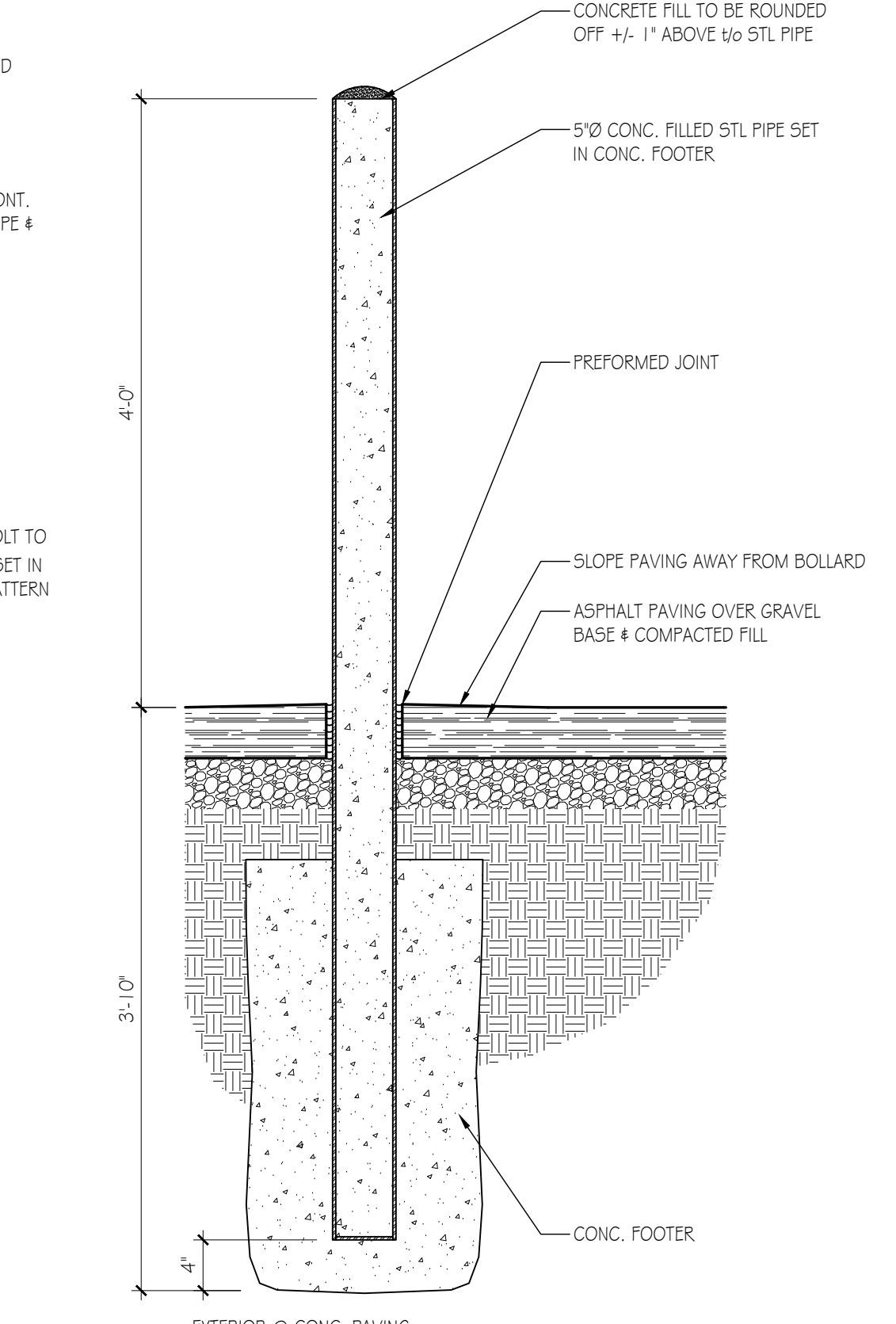
**H** TYP. TRENCH DRAIN DETAIL  
 Scale: 1 1/2" = 1'-0"



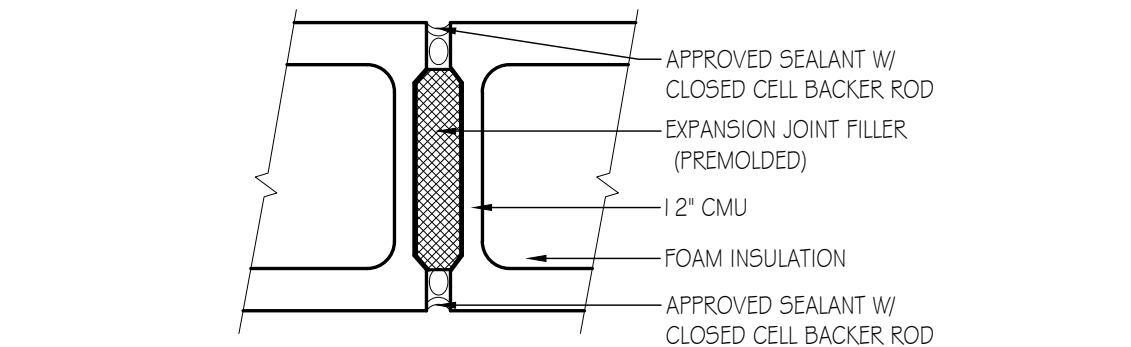
**G** TYP. AREA DRAIN DETAIL  
 Scale: 1 1/2" = 1'-0"



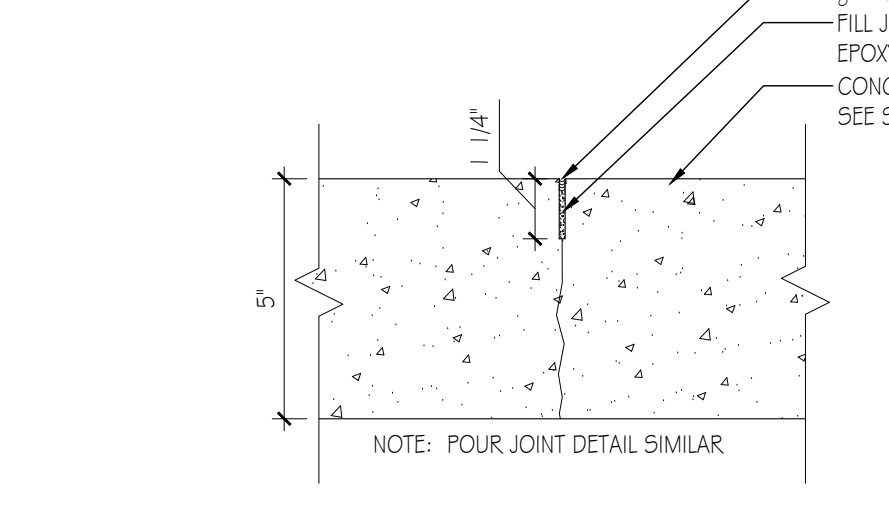
**B** TYP. BOLLARD DETAIL  
 Scale: 1" = 1'-0"



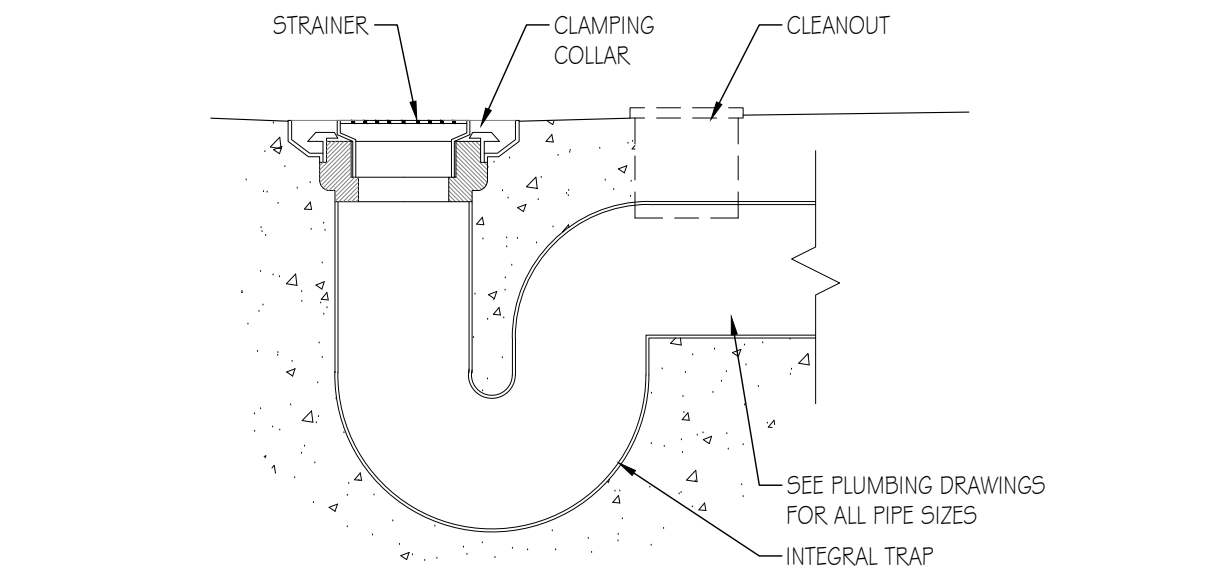
**A** TYP. BOLLARD DETAIL  
 Scale: 1" = 1'-0"



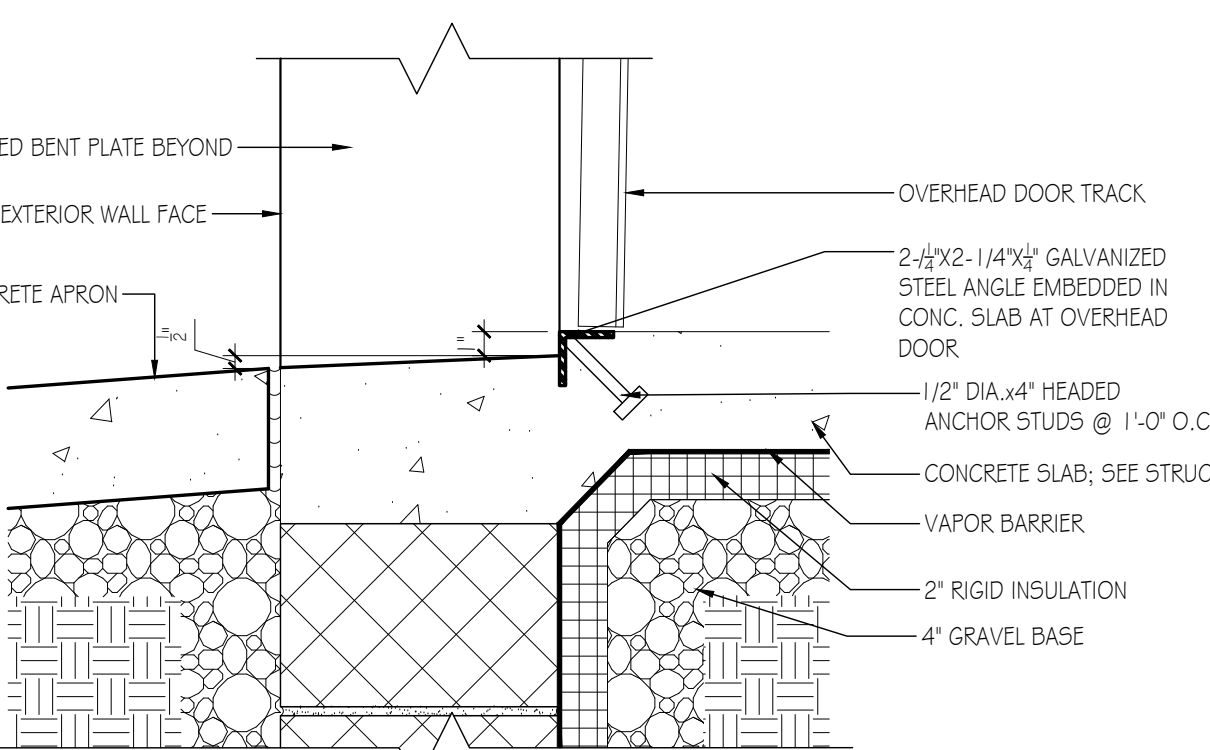
**F** TYP. CMU JOINT DETAIL  
 Scale: 1 1/2" = 1'-0"



**E** TYP. SAW CUT DETAIL  
 Scale: 3" = 1'-0"



**D** TYP. FLOOR DRAIN DETAIL  
 Scale: 1 1/2" = 1'-0"



**C** TYP. SLAB @ OH DOOR  
 Scale: 1 1/2" = 1'-0"

I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Virginia, license number: 040304-0019, expiration date: December 31, 2023.



**CMA's Hyundai Winchester**  
Addition & Alteration  
3951 Valley Pike  
Winchester, VA

**CMA Properties**

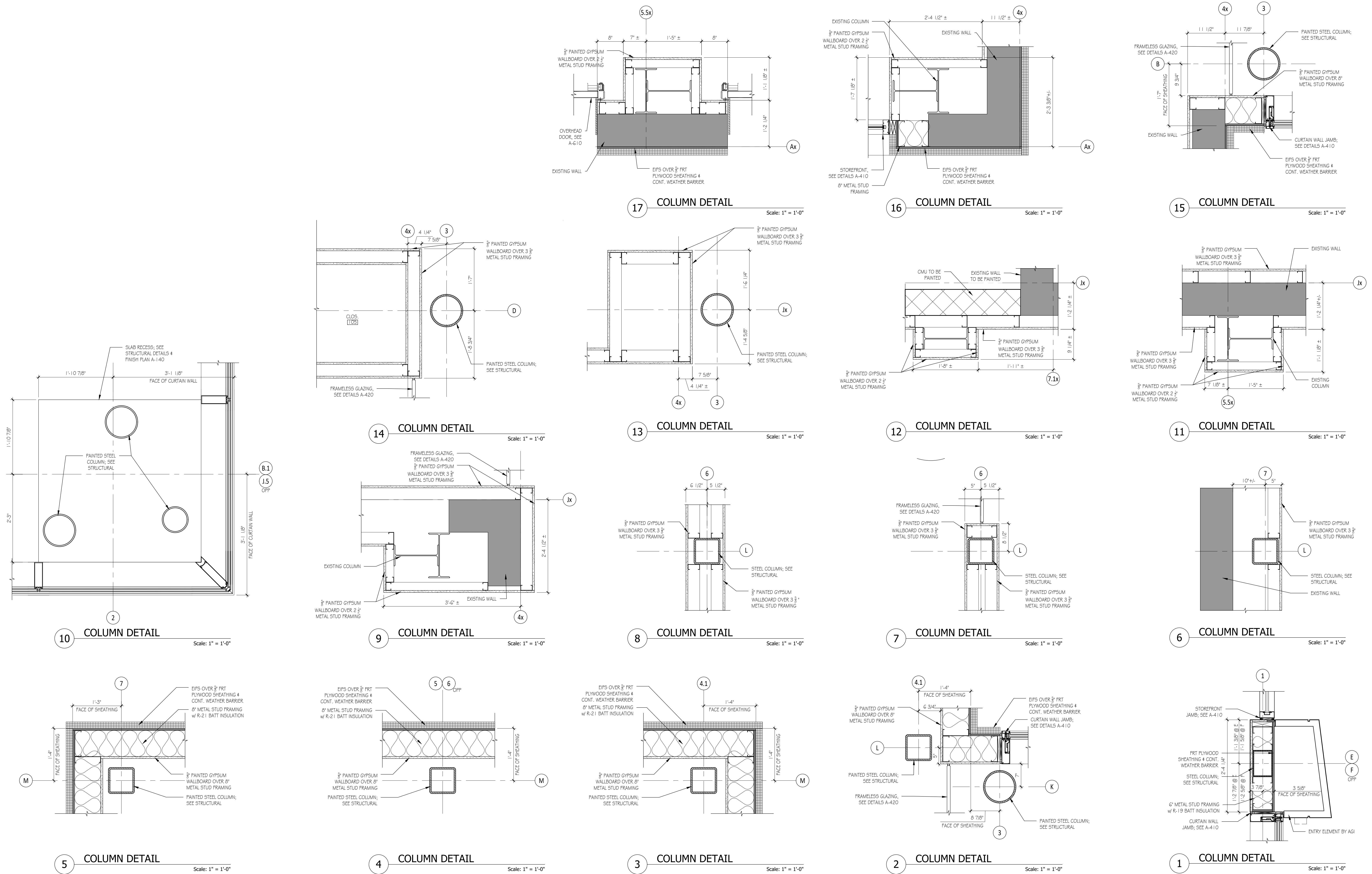
100 Myers Drive  
Charlottesville, VA 22901

I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Virginia. License number: 040014019, expiration date: December 31, 2023.

Bid Set 2023.07.27  
HMA 75% Submission 2023.03.31  
No. Issue / Revision Date  
Drawn By: LH  
Checked By: JP  
Plot Date: August 2, 2023

Sheet Number  
**A-510**  
Sheet Title  
**Column Details**

Project Number: CMA008a File Name: A-510.dwg



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**CMA's Hyundai Winchester**  
Addition & Alteration

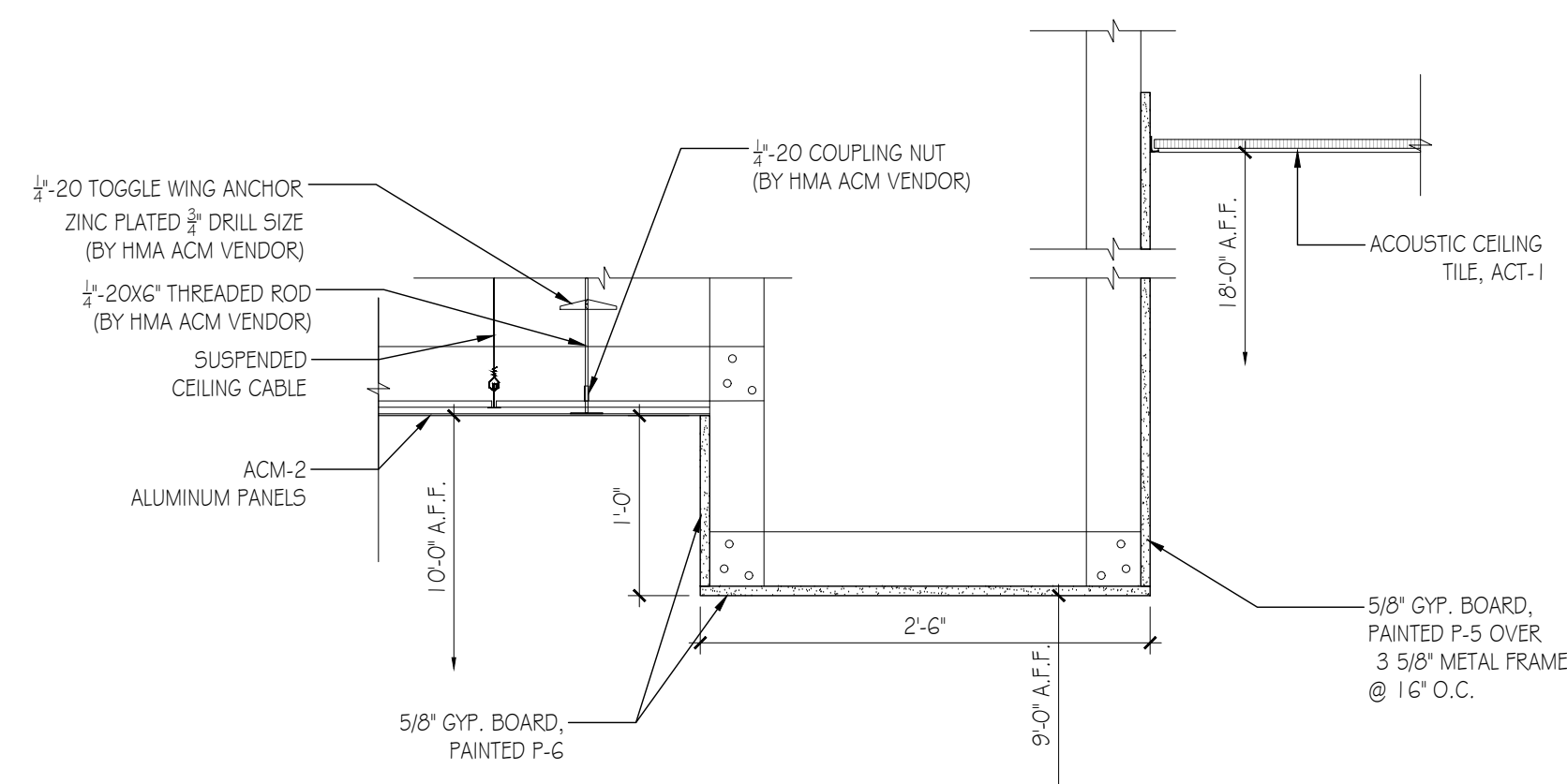
3951 Valley Pike  
Winchester, VA

...

**CMA Properties**

100 Myers Drive  
Charlottesville, VA 22901

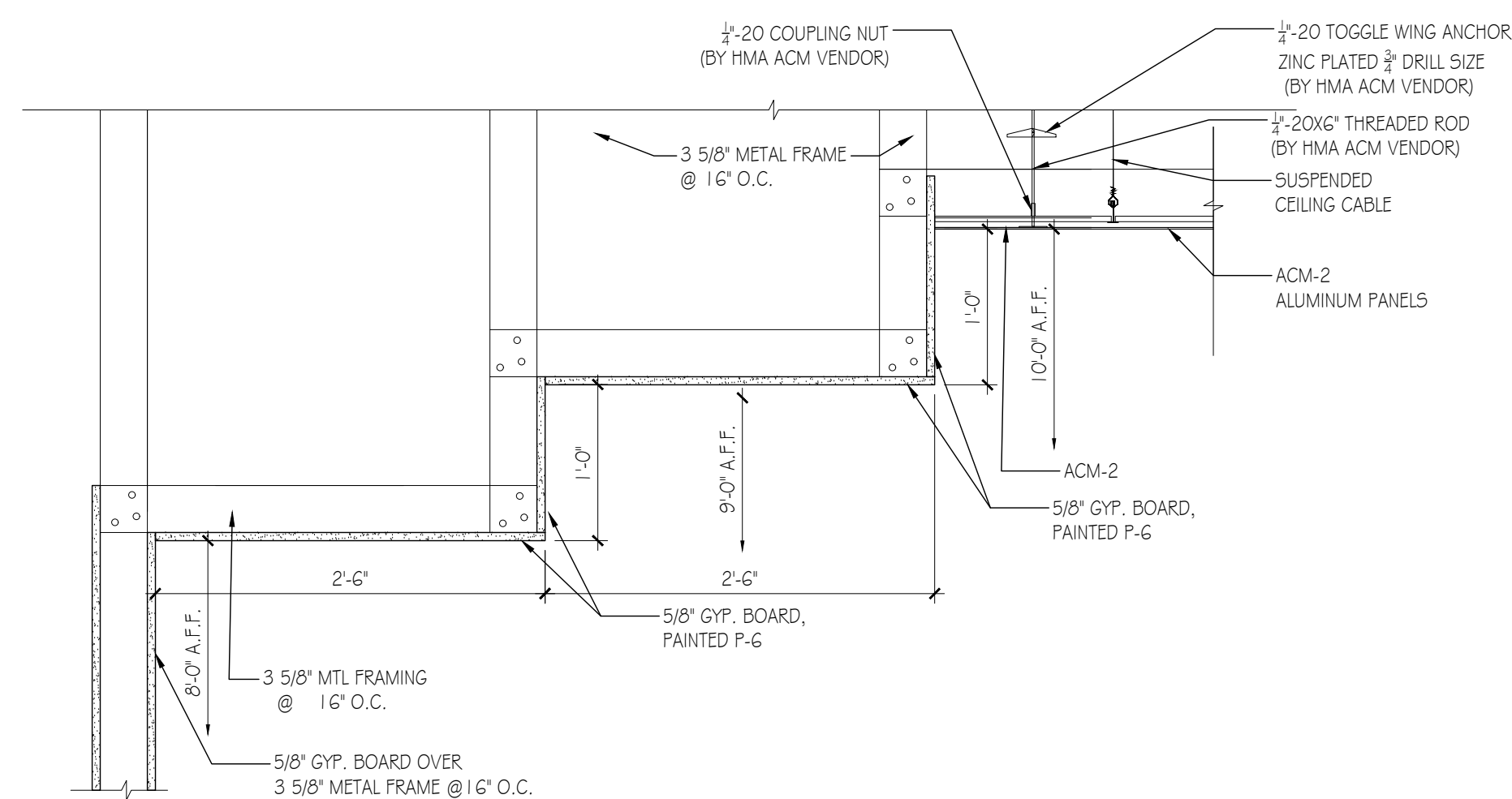
I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Virginia. License number: 0403014613, expiration date: December 31, 2023.



4

**CUSTOMER LOUNGE BULKHEAD DETAIL**

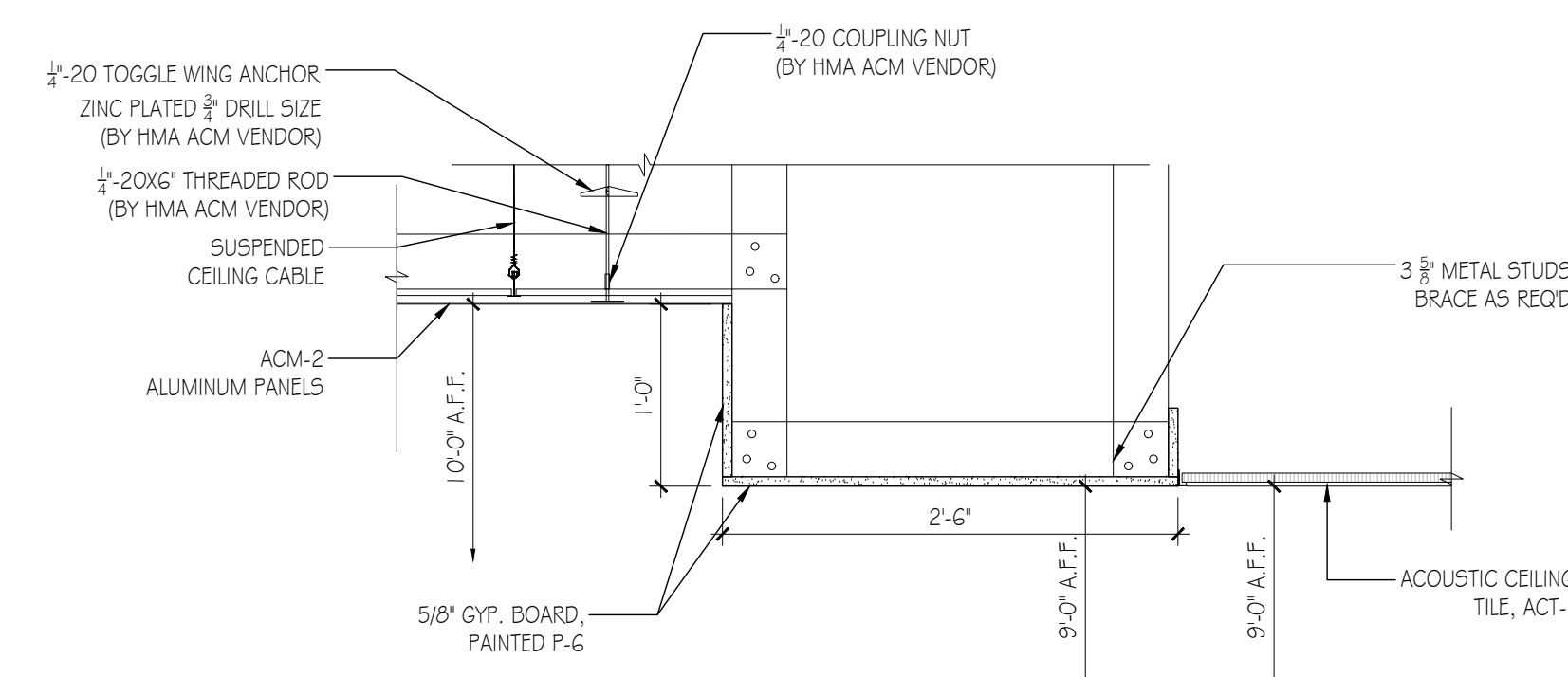
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3

**CUSTOMER LOUNGE BULKHEAD DETAIL**

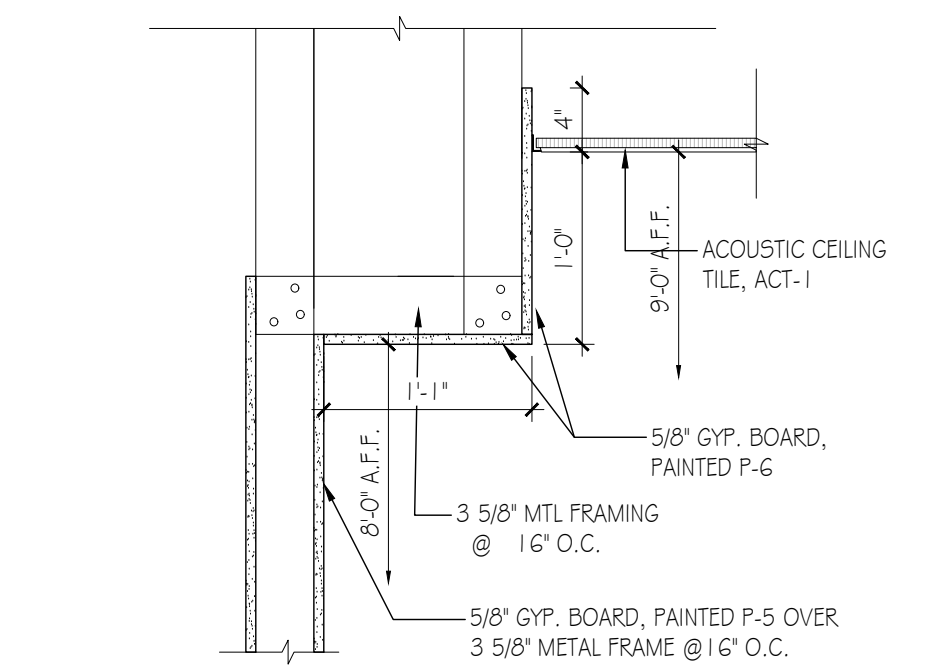
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2

**CUSTOMER LOUNGE BULKHEAD DETAIL**

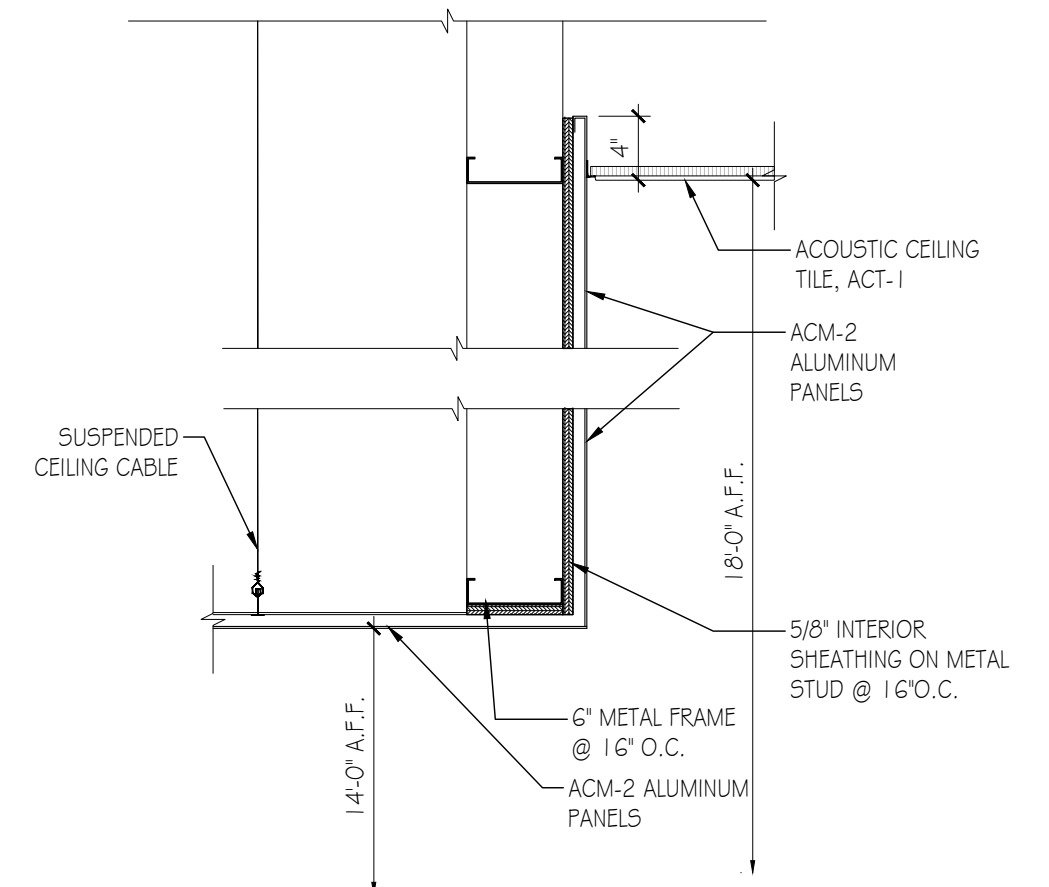
Scale: 1" = 1'-0"



5

**SHOWROOM BULKHEAD DETAIL**

Scale: 1" = 1'-0"



1

**SHOWROOM BULKHEAD DETAIL**

Scale: 1" = 1'-0"

Bid Set	2023.07.27	
HMA 75% Submission	2023.03.31	
No.	Issue / Revision	Date
Drawn By:		LH
Checked By:		JP
Plot Date:	August 2, 2023	

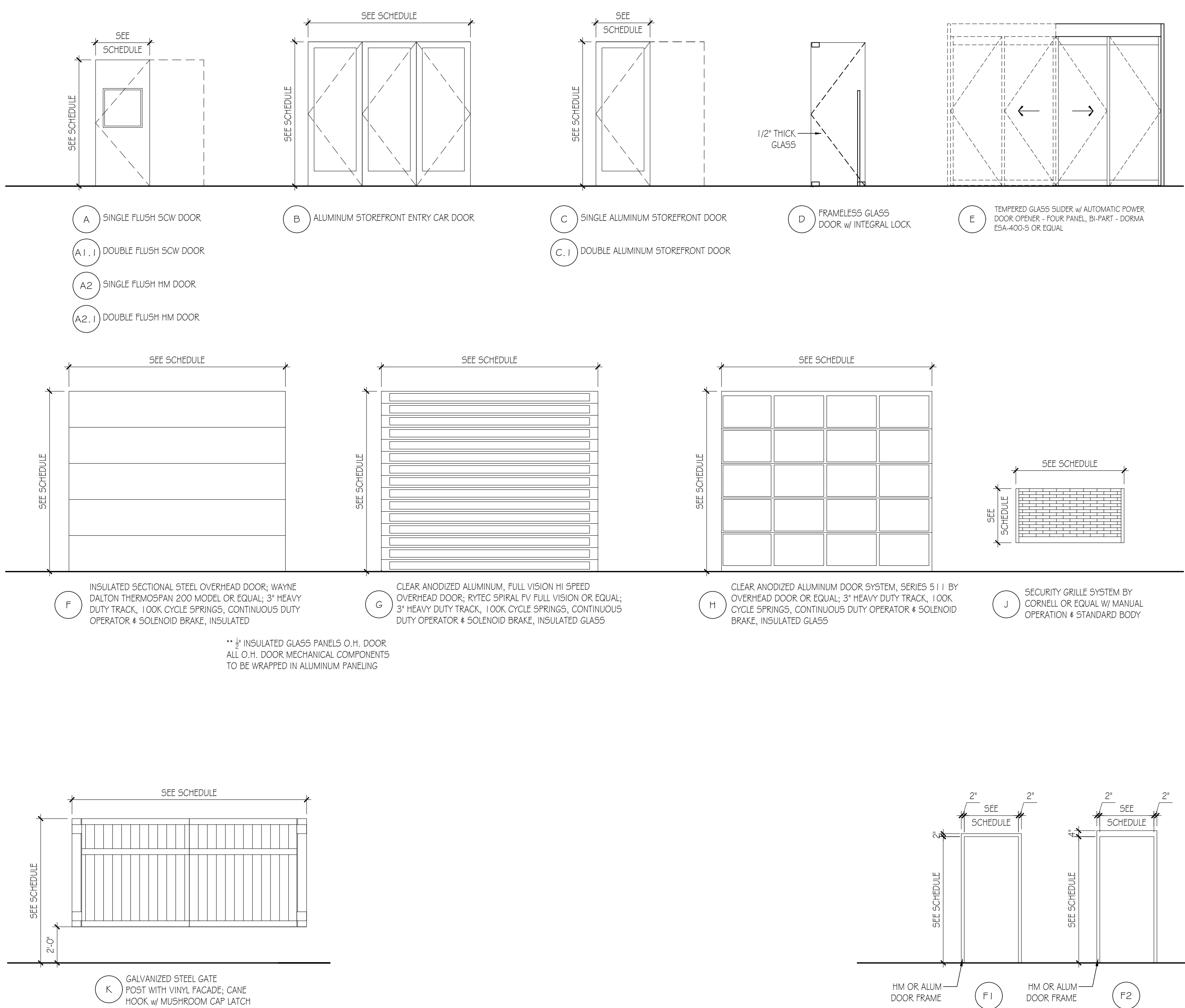
Sheet Number

**A-520**

Sheet Title  
**Bulkhead Details**

Project Number: CMA008a | File Name: A-520.dwg

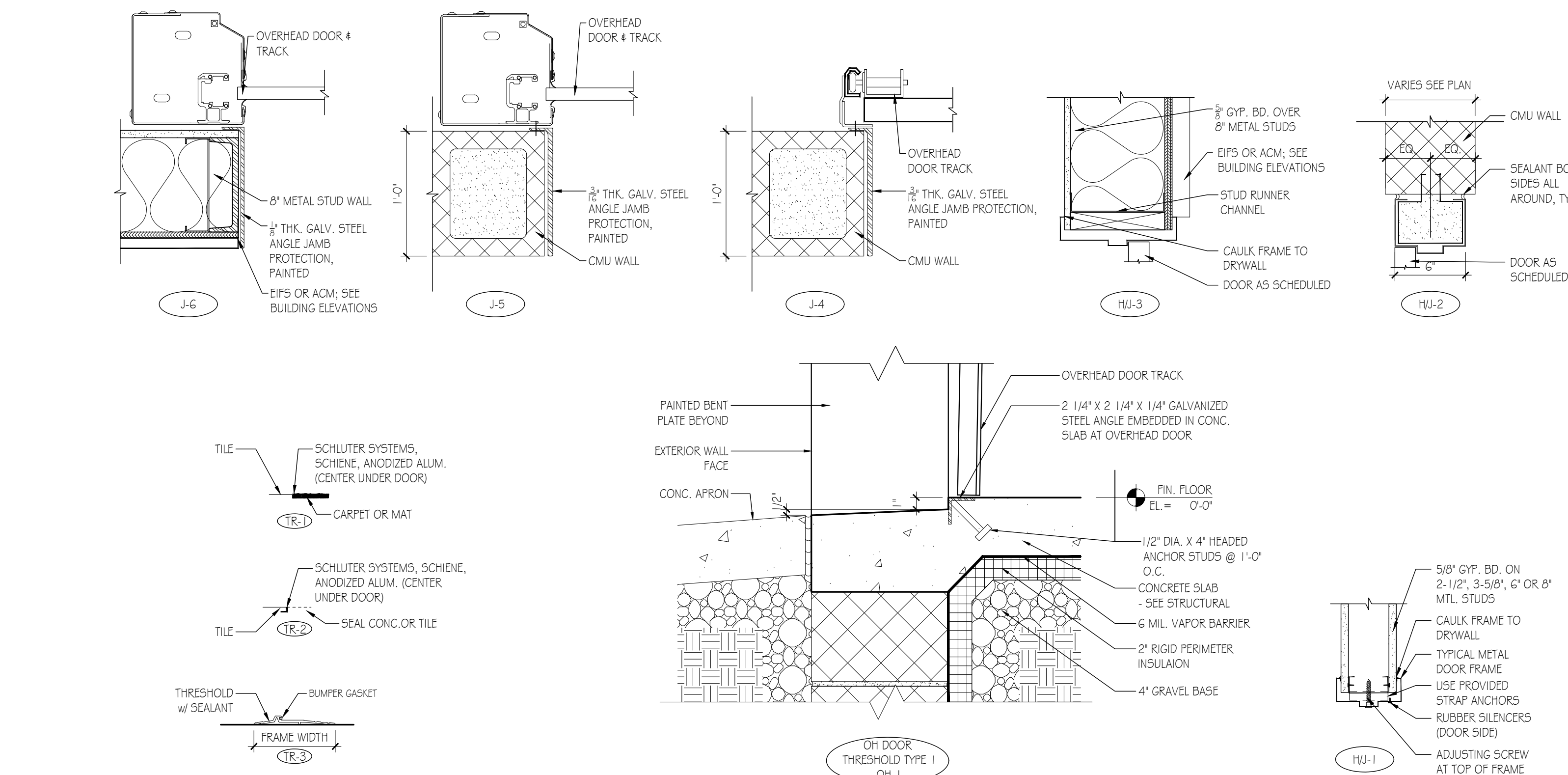
DOOR TYPES



DOOR SCHEDULE

Table with columns: NUMBER, TYPE, MATERIAL, WIDTH, HEIGHT, THK., FINISH, UNDERCUT, HRDRW, UNDERCUT, HRDRW, MATERIAL, TYPE, FINISH, HW, THRESH., and REMARKS. Rows 100-135 listing door specifications.

DOOR & FRAME DETAILS



DOOR SCHEDULE NOTES

GENERAL NOTES: G.C. TO REVIEW ALL HARDWARE... SHOWN SCHEDULE FOR CLOSER... PROVIDE SOLID FIRE-RETARDANT TREATED WOOD BLOCKING...

HARDWARE

HARDWARE SET TYPES GENERAL NOTES: --- SEE DOOR SCHEDULE FOR CLOSER, HOLD-OPEN & FLOORWALL STOP REQUIREMENTS... HARDWARE TYPE 1: (PAIR ALUM. GLASS DOOR, MED. STILE, ALUM. FRAME)...

PENNEY DESIGN GROUP ARCHITECTURE | PLANNING | INTERIORS 8120 Woodmont Avenue Suite 750 Bethesda, Maryland 20814 p.301.979.7600 f.301.710.6384 www.penneydesigngroup.com

CMA's Hyundai Winchester Addition & Alteration 3951 Valley Pike Winchester, VA

CMA Properties 180 Myers Drive Charlottesville, VA 22901

I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Virginia, license number: 040020403, expiration date: December 31, 2023.

Bid Set 2023.07.27 HMA 75% Submission 2023.03.31 No. Issue / Revision Date Drawn By: JH Checked By: JH Plot Date: August 2, 2023

Sheet Number A-610 Sheet Title Door Details & Schedule Project Number CMA008a File Name A-610.dwg

INTERIOR FINISH SCHEDULE

INTERIOR MATERIAL SCHEDULE

RM #	ROOM NAME	FLOOR	BASE	WALL	CEILING	C-TOPS	VERTICALS	REMARKS	TAG	MATERIAL	MANUFACTURER	SIZE	SPECIFICATION	REMARKS
FIRST FLOOR														
100	RECEPTION	CT-1, WM-1	-	-	ACT-1					CEILING				
101	SHOWROOM # SALES	CT-1, CT-5	CBT-1	P-5	ADM-2				ADM-2	SHAPED SKY METAL CEILING PANELS	AGI	2' X 2'	PROPRIETARY PRODUCT AND COLOR, BLACK, WITH 4MM SHAPED SKY PANEL OVERLAY, BRONZE, GRID: ARMSTRONG PRELUDE XL, 1/2", GRID COLOR: TECH BALCK	LOWER CEILING IN 'STEPPED' FASCIA DESIGN; CEILING ABOVE LEAD CAR DISPLAY PAD
102	FBI	CPT-1	VB-1	P-5	ACT-1				ACT-1	ACOUSTIC CEILING TILE	ARMSTRONG	24' X 24' X 1/2"	FINE FISURED 1734, COLOR: WHITE, EDGE: BEVELLED TEGULAR, GRIP: 1/2" ARMSTRONG, GRID COLOR: PLATINUM OR SILVER SATIN	SHOWROOM
104	NEW CAR DELIVERY	CT-1	CBT-1	P-5	ACT-1				GYP-1	GYPSUM BOARD CEILING			GYPSUM BOARD TO BE PAINTED P-6	
105	CLOSET	CT-1	CBT-1	P-5	ACT-1				EXP-1	EXPOSED STRUCTURE			EXISTING EXPOSED CEILING TO BE PAINTED P-6	SERVICE RECEPTION
106	HALL	CT-1	CBT-1	P-5	ACT-1				EXP-2	EXPOSED STRUCTURE			EXISTING EXPOSED CEILING TO BE PAINTED P-7	PARTS # SERVICE DEPARTMENTS
107	IT	CPT-1	VB-1	P-2	ACT-2				FLOORING					
108	CONFERENCE/BREAK ROOM	VCT-1	VB-1	P-5	ACT-1	SS-2	FL-5, PL-6		CPT-1	CARPET	SHAW CONTRACT	24' X 24'	CLEAR TILE 59564, COLOR: SEA GLASS #62560, CONSTRUCTION: MULTILEVEL PATTERN LOOP, TRANSITION STRIP, COLOR TO MATCH CARPET TILE, MONOLITHIC INSTALLATION	OFFICES # QUIET LOUNGE AS SHOWN
109	STORAGE	SC-1	---	P-8	EXP-2				WM-1	WALK OFF MAT	MATS INC.		DUAL TRACK, COLOR: CHARCOAL GRAY	EXTERIOR ENTRANCES
110	GENERAL MANAGER	CPT-1	VB-1	P-5, P8	ACT-1				SC-1	SEALED CONCRETE	PROCOAT		PENETRATING CLEAR SEALANT, COLOR: CLEAR COAT	SERVICE DEPARTMENT
111	SALES MANAGER	CPT-1	VB-1	P-5, P8	ACT-1	SS-1	FL-5, PL-6		VCT-1	VINYL COMPOSITE TILE	ARMSTRONG	12' X 12'	IMPERIAL TEXTURE, COLOR: STERLING #51904	BREAK ROOMS, JANITOR, PARTS MANAGER
112	SHOWROOM # SALES	CT-1, CT-5	CBT-1	P-5	ACT-1				EXP-2	EPOXY FLOORING STRIP	SHERWIN WILLIAMS		ARMORSEAL 650 SUVR, COLOR: DECK GRAY	SERVICE FLOOR STRIPPING: BAYS, WALKWAYS
113	WORK STATION	CT-1A	VB-1	P-2	ACT-2				TILE					
114	CUSTOMER LOUNGE/CAFE	CT-1, CT-6	CTB-1	P-5, CT-3	ADM-2, GYP-1	SS-1	FL-5, PL-6		CT-1	PORCELAIN TILE - FLOOR	DALTILE	12' X 24' X 1/2"	SYSTEM N UNGLAZED PORCELAIN STONEMARE, COLOR: SABBIA N, FINISH: MATTE, #19804HY1 224 (P), INSTALLATION: 1/2" STEP RUNNING BOND (R), 1/2" GROUT JOINT	FIELD TILE THROUGHOUT AS SHOWN; CUSTOMER RESTROOM WALL TILE
115	SERVICE WRITERS	CT-1	CBT-1	P-5	ACT-1				CT-5	PEBBLE TILE - FLOOR	PEBBLE TILE SHOP	12' X 12' WITH MESH BACKING SHEET	PEBBLE TILE SHOP, COLOR: JAVA TAN, FINISH: NATURAL TAN	BASE OF INCLINED COLUMNS IN SHOWROOM
116	SERVICE DRIVE LANES	CT-7, CT-8	CTB-2	P-7	EXP-1				CT-6	PORCELAIN TILE - FLOOR	DALTILE	6' X 24' X 1/2"	SANTINO SERIES, COLOR: BRUNO SH09	CUSTOMER LOUNGE
118	CUSTOMER LOUNGE	CT-1	CTB-1	P-5	ACT-1	SS-1	FL-6		CT-7	ENHANCED PORCELAIN TILE	AUTOSTONE	12' X 12' X 1/2"	ENVIRO SERIES; ENHANCED PORCELAIN TILE - ALLOY GREY	SERVICE DRIVE, LANES AND WALKWAYS
119	RETAIL PARTS COUNTER	SC-1	---	P-7	GYP-1, EXP-2	ST-1	FL-5, PL-6		CT-8	ENHANCED PORCELAIN TILE	AUTOSTONE	12' X 12' X 1/2"	ENVIRO SERIES; ENHANCED PORCELAIN TILE - CARBON BLACK	SERVICE DRIVE LANE STRIPING
120	MENS RESTROOM	CT-1	---	CT-1	GYP-1	SS-1	FL-5		CT-10	PORCELAIN TILE - FLOOR	DALTILE	12' X 12'	UNITY, PA66 NERO, UNPOUSHED	TECH RESTROOMS, MEZZANINE RESTROOMS
121	WOMENS RESTROOM	CT-1	---	CT-1	GYP-1	SS-1	FL-5		GROUT					
122	PARTS DEPARTMENT	SC-1	---	P-5	EXP-2				GR-2	GROUT	CUSTOM BUILDING PRODUCTS		FUSION PRO, COLOR OPTIONS: A #60 CHARCOAL, COLOR OPTION B: #370 DOVE GRAY	
123	PARTS MANAGER	VCT-1	---	P-5	ACT-1				GR-3	GROUT	LATICRETE		COLOR: 45 RAVEN	USE WITH CTB-2
124	TECH PARTS COUNTER	SC-1	---	P-7	EXP-2	ST-1	PL-5		GR-4	GROUT	LATICRETE		COLOR: 22 MIDNIGHT BLACK	USE WITH CT-10
125	SERVICE	SC-1	---	P-7, P-8	EXP-2				BASE					
126	SPECIAL TOOLS	SC-1	---	P-8	EXP-2				CTB-1	CERAMIC TILE BASE	DALTILE	3' X 24' BULLNOSE	COLOR TO MATCH SABBIA N, #19804HY543F9 (P1)	USE w/ CT-1
127	SERVICE DEPARTMENT	SC-1	---	P-7, P-8	EXP-2				CTB-2	ENHANCED PORCELAIN TILE BASE	AUTOSTONE	6' BULLNOSE	ENVIRO SERIES; ENHANCED PORCELAIN TILE - ALLOY GREY	USE w/ CT-7 & CT-8
128	HALL	CT-1	CBT-1	P-5	ACT-1				CTB-3	PORCELAIN TILE BASE	DALTILE	6X12 COVE BASE	UNITY, PA66 NERO, UNPOUSHED	USE w/ CT-10
129	WOMENS TECH RESTROOM	CT-10	CTB-3	P-5	ACT-1				VB-1	VINYL BASE	MANNINGTON	4' STRAIGHT BASE	EDGE: (TYPE TV), COLOR: STONE GRAY #907, WITH PERFORMED CORNERS	USE w/ CPT-1
130	TECH BREAK ROOM	VCT-1	VB-3	P-5	ACT-1, GYP-1	SS-3	FL-5, PL-6		VB-3	VINYL BASE	MANNINGTON	4' STRAIGHT BASE	EDGE: (TYPE TV), COLOR: NIGHT BLACK #901, WITH PERFORMED CORNERS	USE w/ VCT-1
131	TECH LOCKERS	CT-10	CTB-3	P-5	ACT-1				PAINT					
132	MENS TECH RESTROOM	CT-10	CTB-3	P-5	ACT-1				P-5	PAINT	SHERWIN WILLIAMS	--	EXTRA WHITE #9A7006, INTERIOR FINISH: EGGSHELL	GENERAL THROUGHOUT U.O.N., SHOWROOM, OFFICE SIDE WALLS, ADMINISTRATIVE
133	EV STORAGE	SC-1	---	P-7	EXP-2				P-6	PAINT	SHERWIN WILLIAMS	--	BRIGHT WHITE #9A7007, FINISH: FLAT	BATHROOM CEILING, GYPSUM CEILINGS, SERVICE RECEPTION OPEN STRUCTURE CEILING
134	AIR/OIL	SC-1	---	P-7	EXP-2				P-7	PAINT	SHERWIN WILLIAMS	--	AGREEABLE GRAY #9A7029, FINISH: SEMI-GLOSS	WRITE-UP DRIVE WALLS, SERVICE WALLS ABOVE DOOR FRAME, SERVICE CEILING, PAINTED INTERIOR DOORS & FRAMES
135	SPRINKLER	SC-1	---	P-7	EXP-2				P-8	PAINT	SHERWIN WILLIAMS	--	ANTLER VELVET #9W9111, FINISH: WATER-BASED CATALYZED EPOXY-IN OFFICES, EGGSHELL (ACRYLIC LATEX)	SERVICE WALLS BELOW DOOR FRAME (WAINSCOT), MGMT. OFFICES ACCENT WALL
MISCELLANEOUS														
		TR-1			SCHLUTER			SCHLUTER SYSTEMS - JOLLY; FINISH: SATIN ANODIZED ALUMINUM		APPLY AT ALL WALL OUTSIDE CORNER EDGES				
		TR-2			SCHLUTER			DILEX-AK, SATIN ANODIZED ALUMINUM		USE AT TRANSITION FLOOR WALL TILE AND WALL TILE				
MILLWORK														
		SS-1			DUPONT			CORIAN, COLOR: DESIGNER WHITE; PENCIL ROUND EDGE PROFILE		CUSTOMER FACING MILLWORK, COUNTERTOPS				
		SS-2			DUPONT			CORIAN, COLOR: DOVE; PENCIL ROUND EDGE PROFILE		SALES BREAK ROOM COUNTERTOPS				
		SS-3			DUPONT			CORIAN, COLOR: DEEP TITANIUM; PENCIL ROUND EDGE PROFILE		TECH BREAK ROOM COUNTERTOPS				
		PL-5			FORMICA			BROWN WOOD; COLOR: SILVER RIFTWOOD		CUSTOMER CAFE, LOUNGE & RESTROOMS VERTICAL SURFACES				
		PL-6			FORMICA			SOLID COLORS; COLOR: B244 NIGHT FOREST		MILLWORK BASE; BREAK ROOM VERTICAL SURFACES				
		ST-1						BRUSHED STAINLESS STEEL		RETAIL PARTS & TECH PARTS COUNTERS				

GENERAL MATERIALS SCHEDULE NOTES

- ALL WALL & CEILING FINISHES MUST BE MIN. CLASS C IN ACCORDANCE w/ IBC TABLE 603.1.1, w/ FLAME SPREAD INDEX BETWEEN 76-200 & SMOKE DEVELOPED INDEX FROM 0-450
- UNLESS NOTED OTHERWISE, PAINTED SURFACES SHALL BE PREPARED & FINISHED AS FOLLOWS:
  - GYPSUM WALLBOARD WALLS - 1 COAT PRIMER - 2 FINISH COATS - EGGSHELL FINISH
  - HOLLOW METAL DOOR FRAMES & PAINT GRADE WOOD DOORS - 1 COAT PRIMER - 2 FINISH COATS - SEMI-GLOSS FINISH
  - GYPSUM WALLBOARD CEILINGS - 1 COAT PRIMER - 2 FINISH COATS - FLAT FINISH
  - EXPOSED CEILINGS - 2 FINISH COATS - FLAT FINISH - CLEAN & PREP ALL GALVANIZED METAL SURFACES AS REQ'D TO ENSURE PROPER PAINT ADHESION
- PROVIDE ATTIC STOCK OF CARPET TILE, VCT & ACOUSTICAL CEILING TILES TO OWNER PRIOR TO PROJECT CLOSEOUT (2%)
- PROVIDE EPOXY GROUT & SEALER @ ALL TILE AREAS
- RESTROOMS WALLS NOT RECEIVING TILE SHALL HAVE MOISTURE RESISTANT GREEN BOARD WITH EPOXY PAINT



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I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Virginia, license number: 0400014619, expiration date: December 31, 2023.

Bid Set	2023.07.27
HMA 75% Submission	2023.03.31
No. Issue / Revision	Date
Drawn By:	LH
Checked By:	JP
Plot Date:	August 2, 2023

Sheet Number  
**A-620**  
Sheet Title  
**Int. Materials & Finish Schedule**

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